

EXTERIOR REMODEL

2550 BROAD STREET

SAN LUIS OBISPO, CA

APPROVED

NOV 02 2020

BUILDING DIVISION
CITY OF SAN LUIS OBISPO

REVIEWED FOR
CODE COMPLIANCE
BUILDING DIVISION • CITY OF SAN LUIS OBISPO
THIS PLAN TO BE KEPT ON THE JOB AT ALL TIMES
CALL FOR INSPECTIONS AT LEAST ONE
WORKING DAY IN ADVANCE 781-7180
Plans shall not be changed or altered without authorization from
the Building and Safety Division. Approval of plans shall not
be construed to be a permit for, or an approval of, any
violation of any city ordinance or state law.

RECEIVED
CITY OF SAN LUIS OBISPO
OCT 08 2020
COMMUNITY DEVELOPMENT

Architecture, Planning & Graphics
3592 Sacramento Dr. Suite 140
San Luis Obispo, California 93401
805/541-5604 voice

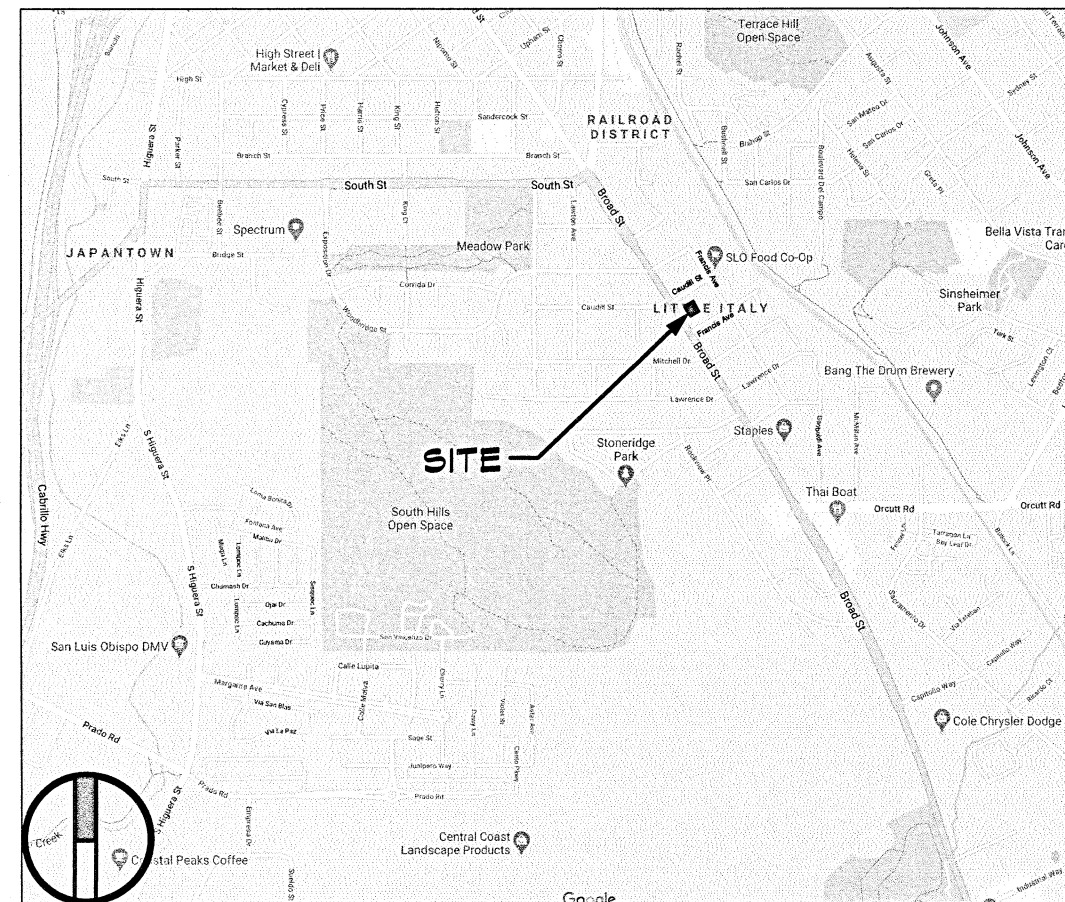
These drawings are instruments of service and are
property of Steven D. Pults, AIA & Associates, LLP.
All design and other information on the drawings
are for use on the specified project
and shall not be used otherwise without the
expressed written permission of
Steven D. Pults, AIA & Associates, LLP.

Project:

EXTERIOR
RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

VICINITY MAP



DIRECTORY

ARCHITECT
PULTS & ASSOCIATES, LLP
3592 SACRAMENTO DRIVE, SUITE 140
SAN LUIS OBISPO, CA 93401
(805) 541-5604

STRUCTURAL ENGINEER
SS& STRUCTURAL ENGINEERS, LLP
811 EL CAPITAN, SUITE 240
SAN LUIS OBISPO, CA 93401
(805) 439-2110

GENERAL NOTES

- The General Contractor shall be responsible for verifying all existing conditions before commencing with any work.
- All work shall comply with all current codes, ordinances & regulations of applicable administrative authorities:
2019 California Building Code
2019 California Mechanical Code
2019 California Plumbing Code
2019 California Electrical Code
2019 California Green Building Standards Code
2019 California Energy Code
2019 California Fire Code
City of San Luis Obispo Municipal Code
2019 Public Works Department Engineering Standards
Americans with Disabilities Act (Title III).
- The Americans with Disabilities Act (ADA) is subject to various and possibly contradictory interpretations. These plans and any accompanying specifications represent designer's opinion regarding an interpretation of the ADA as it applies to the subject project. Any variance from these documents may create non-compliance with the Act.
- The 2019 Building Energy Efficiency Standards for residential and non-residential buildings have been reviewed, and the building described on these pages is in substantial conformance.
- No changes to the shell bldg, other than what is described in these drawings, shall be performed unless a separate permit has been obtained.
- Special Inspectors shall be a qualified person who shall demonstrate competence, to the satisfaction of the Building Official. Names and qualifications shall be submitted to Building Department for approval.
- All work located within the public right-of-way or within the jurisdiction of the Utilities and Public Works Departments shall comply with the most current edition of the Engineering Standards and Standard Specification. (The current adopted Standards are dated August 2019.)
- Any sections of damaged or displaced curb, gutter & sidewalk, or driveway approach shall be repaired or replaced to the satisfaction of the Public Works Director.
- A separate encroachment permit is required for any work in the public right-of-way or within city easements for connections to public utilities. Work requiring an encroachment permit includes but is not limited to demolitions, utilities, water, sewer, and fire service laterals, curb, gutter, and sidewalk, driveway approaches, sidewalk underdrains, storm drain improvements, street tree planting or pruning, curb ramps, street paving, and pedestrian protection or construction staging in the right-of-way.
- Contact the Public Works Inspection hotline at 781-7554 with at least a 48-hour notice for any required encroachment permit inspection or final inspection.
- The adjoining street and sidewalk shall be cleaned by sweeping to remove dirt, dust, mud, and construction debris at the end of each working day.
- A traffic and pedestrian control plan shall be submitted to the Public Works Department for review and approval prior to encroachment permit issuance.
- Any existing survey monuments shall be protected in place or shall be tied out by a licensed land surveyor prior to disturbance and then replaced prior to occupancy in accordance with section 91711 of the California Business and Professions Code.
- Erosion control measures shall be implemented and maintained to the satisfaction of the Building Official and Public Works Director during all demolitions, construction and ground disturbing activities.
- Any change orders made during the construction process which require the submittal of a plan set by the property owner, require a copy to be provided to the assessor.
- This project will be in full compliance with 2019 CBC Chapter 7A Materials and Construction Methods for Exterior Wildfire Exposure.

PROJECT SUMMARY

LEGAL: 2550 BROAD STREET
SAN LUIS OBISPO, CA 93401

APN: 004-923-023

ZONING: C-R

GROSS AREA: 0.98 ACRES

PARKING: BUSINESS & PROF OFFICE
4,287 SF GROSS @ 1/300 SF*

PARKING TYPE	REQ'D	PROVIDED
TOTAL REQUIRED		14
TOTAL PROVIDED		19
ACCESSIBLE		
VAN	1	1
NON-ACCESSIBLE		
STANDARD	13	18
TOTAL	14	19

MOTORCYCLE: REQ'D PROVIDED
14 / 20 = 1 / 1

BICYCLE: REQ'D PROVIDED
4,287 SF / 1,500 3 / 3
75% X 3 = 2 SHORT TERM 6 / 6
25% X 3 = 1 LONG TERM 1 / 1

* PER CHAPTER 17.72.030 TABLE 3-4

CONST TYPE: VB - SPRINKLERED

STORIES: 1

OCCUPANCY: B

OCCUPANT LOAD:

SPACE	AREA** (SF)	OCC GROUP	OCC FACTOR	OCC LOAD
OFFICE	3,754	B	200	19
TOTAL OCCUPANT LOAD				19

1 EXIT REQ'D, 3 PROVIDED

PLUMBING FIXTURE REQUIREMENTS:

SPACE	AREA** (SF)	OCC GROUP	OCC FACTOR	OCC LOAD
OFFICE	3,754	B	200	19
TOTAL OCCUPANT LOAD				19

1 TOILET REQUIRED *
2 ALL GENDER TOILETS PROVIDED

* PER CFC SECTION 422.2 (3), B OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LESS, INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.

FOR NON-SEPARATED OCCUPANCIES PER CBC 508.3, USE THE MOST RESTRICTIVE OCCUPANCY: B

** CFC CHAPTER 4, TABLE A - USE MIXED OCCUPANCIES, DO NOT COUNT ACCESSORY AREAS SUCH AS BATHROOMS, CIRCULATION AND HALLWAYS
CFC TABLE 422.1, NOTE 3 - NO URINAL REQUIRED FOR OCC LOAD < 50

SHEET INDEX

T-1 TITLE SHEET, PROJECT DATA
T-2 CONDITIONS OF APPROVAL

ARCHITECTURAL

AC-1 SITE PLAN
AC-2 SITE DETAILS

D-1 DEMOLITION PLAN
A-1 FIRST FLOOR PLAN
A-2 ROOF PLAN AND WALL SECTIONS
A-3 ELEVATIONS
A-4 ACCESSIBILITY DETAILS
A-5 SCHEDULES
A-6 STOREFRONTS
A-7 DETAILS
A-8 DETAILS

STRUCTURAL

S1.0 STRUCTURAL NOTES
S1.1 STRUCTURAL NOTES
S2.0 FOUNDATION PLAN
S3.0 ROOF FRAMING PLAN
S4.0 FOUNDATION DETAILS
S4.1 FOUNDATION DETAILS
S5.0 FRAMING DETAILS

TOTAL 19 SHEETS

SYMBOLS

- ① DIMENSIONAL GRID LINE
- ① DOOR MARK
REFER TO DOOR SCHEDULE
- Ⓐ WINDOW MARK
REFER TO WINDOW SCHEDULE
- Ⓐ WINDOW ABOVE
REFER TO WINDOW SCHEDULE
- 1 REFERENCE NOTE
- ① DETAIL NUMBER
SHEET SHOWN ON
- Ⓐ SECTION
SHEET SHOWN ON

ACCESSIBILITY COMPLIANCE VERIFICATION

- THE EXISTING BATHROOMS AND PATH OF TRAVEL TO THE AREA OF REMODEL HAVE BEEN SURVEYED BY THE ARCHITECT AND THE FOLLOWING ITEMS, TO THE BEST OF OUR KNOWLEDGE, HAVE BEEN DETERMINED TO REQUIRE ALTERATIONS TO BE IN FULL COMPLIANCE WITH CURRENT ADA REQUIREMENTS.
- THE EXISTING PATH OF TRAVEL FROM THE PUBLIC WAY TO THE MAIN ENTRY WILL BE REPLACED WITH A NEW CONCRETE PATH.
 - THE EXISTING ASPHALT ACCESSIBLE PARKING SPACE WILL BE REPLACED WITH A NEW CONCRETE VAN ACCESSIBLE SPACE.
 - THE EXISTING MAIN ENTRY WILL BE REMOVED AS PART OF THE REMODEL AND REPLACED WITH A NEW ENTRY.

SCOPE OF WORK

The proposed work includes a complete remodel of the exterior of an existing commercial building. The existing building includes 1,399 sq ft of covered porch area that will be enclosed with new exterior walls. The interior will remain unchanged in anticipation of a future tenant improvement.

Existing mechanical and electrical systems serving the space are to remain.

Exterior improvements include the addition of a new accessible parking space, removal of an existing kiosk, and restriping the parking area. Installation of street trees will be per the approved landscape plans in the ARC approval drawings.

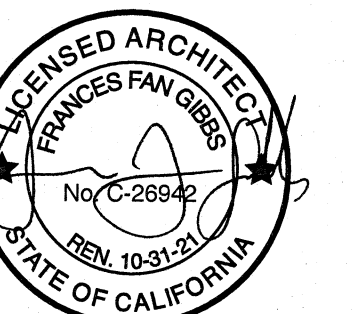
Client:

SLO Q

815 FIERO LANE
SAN LUIS OBISPO
CA 93401
(805) 543 - 0561

Sheet Contents:

TITLE SHEET



Date: 17 APR 2020

Revised:
21 JULY 2020 PC#1
6 OCT 2020 PC#2

Job No:

1946

Sheet:

T-1

TH 2550 Broad



Community Development
919 Palm Street, San Luis Obispo, CA 93401-3218
805 781 7170
slocity.org

RECEIVED
DEC 24 2019

JAMES A. QUAGNINO INC

December 18, 2019

SLO Q
815 Fiero Lane
San Luis Obispo, CA 93401

Subject: ARCH-0528-2019 (2550 Broad Street)
Review of a 1,386-square foot building addition and facade remodel of an existing commercial structure. Project includes the removal of a kiosk structure near the corner of Broad Street and Francis Avenue and additional landscaping

Dear SLO Q:

On December 18, 2019 I reviewed your application to remodel an existing commercial building including the creation of 1,386 additional square footage in the Retail Commercial, Special Focus Overlay (C-R-SF) zone. The structure is intended to accommodate professional and medical office uses. The project design was reviewed by the Architectural Review Commission on November 4, 2019. After careful consideration, your plans are approved, based on findings and subject to the following conditions:

Findings

- The project will not be detrimental to the health, safety, and welfare of persons living or working at the site or in the vicinity because the project will be compatible with the site constraints and the character of the neighborhood.
- The project is neither new construction, a large addition, or a substantial remodel, and is therefore not subject to the development standards of the South Broad Street Area Plan.
- The project is consistent with Zoning Regulation development standards for the Retail Commercial (C-R) zone, including but not limited to setback, height, and parking requirements.
- The Architectural Review Commission reviewed the project on November 4, 2019, and found the project consistent with the City's Community Design Guidelines applicable to commercial projects because the project provides landscaping as a project amenity, demonstrates a consistent use or colors and materials throughout the structure, and minimizes the visual impact of the parking lot by landscaping and other improvements along the Broad Street property line.
- The project is categorically exempt under Class 1, Existing Facilities, Section 153301 of the CEQA Guidelines because the proposed project is an exterior alteration to an existing building that will involve a negligible expansion of the former use and will have no significant impact on the environment.

ARCH-0528-2019
2550 Broad Street
Page 4

approve tree species and planting requirements. Unless otherwise waived by the Community Development Director and the City Arborist, provide two new zone 1 street trees evenly spaced in the parkway.

- All tree removals and compensatory plantings shall be shown on plans, to the satisfaction of the City Arborist and Public Works Director.

Utilities

- The property's existing sewer lateral to the point of connection at the City main must pass a video inspection, including repair or replacement, as part of the project. The CCTV inspection shall be submitted during the Building Permit Review Process for review and approval by the Utilities Department prior to issuance of a building permit.

- The project shall include a trash enclosure that conforms to the requirements of the San Luis Garbage Company and the City's Community Design Guidelines. The refuse bins shall be sized to provide a reasonable level of service, accommodating the three (3) waste streams: trash, recycling, and organics.

My action is final unless appealed within 10 calendar days of the date of this letter. Anyone may appeal the action by submitting a letter to the Community Development Department within the time specified. The appropriate appeal fee must accompany the appeal documentation. Appeals will be scheduled for the first available Planning Commission meeting date. If an appeal is filed, you will be notified by mail of the date and time of the hearing.

The Community Development Director's approval expires after one year if construction has not started. On request prior to the expiration of the original approval, the Community Development Director may grant a single, one-year extension.

Included with this letter is an invoice for the Completion Fee for your application, which is now due. Completion Fees are to be paid within six months of the final action taken on planning services provided or this entitlement shall be null and void. Payment of this fee may be made in person or by mail.

In Person Payment: Please visit the Community Development Department at 919 Palm Street, between 8:00 a.m. and 3:00 p.m., Monday through Friday. In person payments can be made in cash, check, or credit/debit card.

Payment by Mail: By mail payments must be in the form of a check and sent to:

CDD Planning Fees
City of San Luis Obispo
919 Palm Street
San Luis Obispo, CA 93401

Checks to be made out to: City of San Luis Obispo
Please include on the check the application number and address (see subject line, above)

ARCH-0528-2019
2550 Broad Street
Page 2

Conditions

Planning

- The applicant shall defend, indemnify, and hold harmless the City and/or its agents, officers, and employees from any claim, action, or proceeding against the City and/or its agents, officers, or employees to attack, set aside, void, or annul the approval by the City of this project, and all actions relating thereto, including, but not limited to, environmental review ("Indemnified Claims"). The City shall promptly notify the applicant of any Indemnified Claim upon being presented with the Indemnified Claim and the City shall fully cooperate in the defense against an Indemnified Claim.
- Final project design and construction drawings shall be in substantial compliance with the project plans as amended and approved through this architectural review process. A separate, full-size sheet shall be included in working drawings submitted for a building permit that lists all conditions of project approval as Sheet No. 2. Reference should be made in the margin of listed items as to where in plans requirements are addressed. Any change to approved design, colors, materials, or other conditions of approval must be approved by the Community Development Director or reviewed by the Architectural Review Commission with a recommendation to the Community Development Director or Planning Commission, as deemed appropriate.
- Plans submitted for a building permit shall call out the colors and materials of all proposed building surfaces and other improvements, consistent with plans dated September 19, 2019. *See Sheet A-3 for colors and materials*
- Any proposed exterior lighting shall be shown on plans submitted for a building permit and shall be downward facing, fully recessed, and shielded to avoid light trespass and adverse impacts to visibility of the night sky consistent with Chapter 17.23 of the Zoning Regulations. *See Elevations on Sheet A-3 for light locations and Detail 5.2 for fixture specification*

Engineering/Public Works

- The building plan submittal shall show that any sections of damaged or displaced curb, gutter and sidewalk, or driveway approach shall be repaired or replaced to the satisfaction of the Public Works Director. Before preparing plans for the building plan submittal, contact this office to set up a site meeting to discuss the extent of sidewalk repair/replacement. The extent of the frontage improvements shall be noted on the plans for reference. *See Note #8 under General Notes on Sheet T-1.*
- The building plan submittal shall show that the existing driveway approach on Francis Street complies with the current American Disabilities Act (ADA) standards. *See Sheet AC-1*
- The building plan submittal shall show the two existing driveway approaches on Broad Street to be abandoned and replaced with curb and sidewalks per city standards. *Existing driveways are shown on the Site Plan and indicated by Note #2B on Sheet AC-1*
- With the abandonment of the driveways the building plan submittal shall show new street trees with 5'x 5' tree wells for areas of 10' sidewalks along Broad Street. The building plan submittal shall show all new tree wells to be located at the back of curb per city standards #8130. *As an alternative, subject to the approval of the Public Works Director, the City would support a 3.5' Parkway with required street trees planted in the Parkway, which shall include irrigation for plantings in the Parkway. The City would support the removal of the* *New street trees are shown on the Site Plan and indicated by Note #9.1 on Sheet AC-1. Also, see Landscape Notes on Sheet AC-1.*

ARCH-0528-2019
2550 Broad Street
Page 5

If you have any questions, or if you need additional information, please contact Kyle Van Leeuwen at (805) 781-7091.

Sincerely,

Tyler Corey
Principal Planner
Community Development

cc: Ten Over Studio
539 Marsh Street
San Luis Obispo, CA 93401

New street trees are shown on the Site Plan and indicated by Note #9.1 on Sheet AC-1. Also, see Landscape Notes on Sheet AC-1.

Noted.

Trash enclosure is shown on the Site Plan on Sheet AC-1. Materials are indicated on the elevations on Sheet A-3 and Detail 4.2/AC-2.

ARCH-0528-2019
2550 Broad Street
Page 3

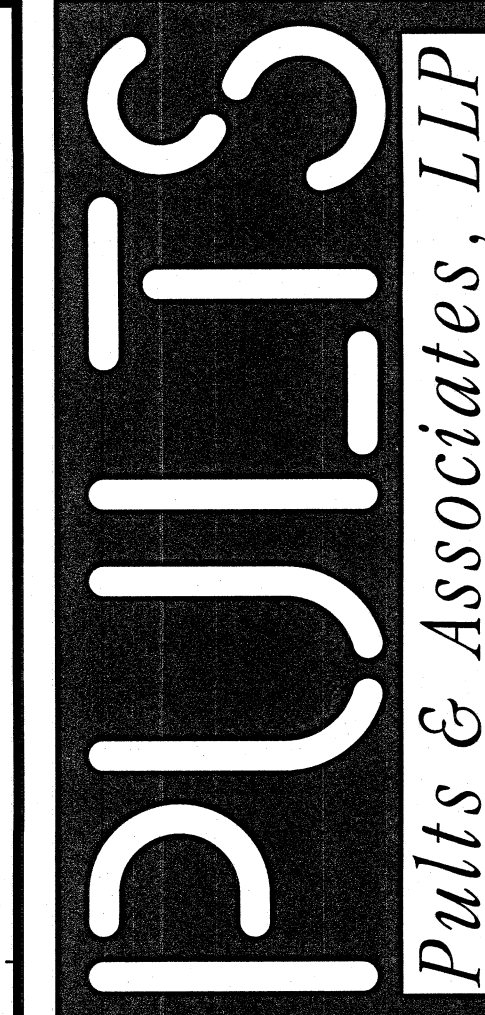
small tree in the tree well located at the northern portion on the existing abandoned driveway from Broad Street in support of a new street tree in the tree well or the new parkway.

- The building plan submittal shall show the landscape irrigation point-of-connection in the parkway, meter sizing, and the location of the reduced pressure (RP) principal backflow device on the plan for reference, as applicable. *No new landscape irrigation is proposed.*
- The building plan submittal shall correctly show the existing and proposed frontage improvements and sidewalk furniture located within the public right-of-way, including utility vaults, under sidewalk drains, meters, tree wells, relocations and abandonments. *See Site Plan on Sheet AC-1 for locations of existing improvements.*
- The building plan submittal shall include a complete site utility plan showing all existing and proposed on-site and off-site utilities. Show the existing Post Indicator Valve (PIV) double-check assembly for the existing fire sprinklers. Assembly upgrades and clearances including and not limited to the PIV may be required. *See Site Plan on Sheet AC-1 for locations of existing utilities and PIV.*
- The building submittal shall show compliance with the Post Construction Stormwater Requirements as promulgated by the Regional Water Quality Control Board for developed sites. The building plan submittal shall include a complete Post Construction Stormwater Plan Checklist as available on the City's website. *Stormwater Control Plan for Post Construction Requirements submitted April 21, 2020.*
- The building plan submittal shall show onsite run-off from the parking lot to be upgraded to provide some level of treatment, to the satisfaction of the Public Works Director. *Onsite run-off is shown as being directed to a landscape area. See Note #36 on AC-1.*
- The building plan submittal shall show the existing retaining curb at the back of the sidewalk on Broad Street to extend to the Francis Street curb ramp to prevent the planting area/slope bank soil from washing onto sidewalk. *Retaining curb extension is shown on Sheet AC-1, indicated by Note #16.*
- The building plan submittal shall comply with the Parking and Driveway Standards for dimensions, maneuverability, slopes, drainage, and materials. Pervious paving materials are recommended for surface parking lots for water quantity and/or quality control purposes and within the area of the root zone/tree canopy of existing and proposed tree plantings. *See Enlarged Plan and details on Sheet AC-2.*
- The building plan submittal shall include the limits of grading and drainage to accommodate the path of travel from the public right-of-way per the Building Code, if grading is required or proposed. *See Enlarged Plan on Detail 5.1 on Sheet AC-2.*
- The building plan submittal shall show all existing and proposed easements, including easements between 2550 Broad and the property to the north (2504 Broad Street). *No easements exist.*
- Provisions for trash, recycle, and green waste containment, screening, and collection shall be approved to the satisfaction of the City and San Luis Obispo Garbage Company. The respective refuse storage area and on-site conveyance shall consider convenience, aesthetics, safety, and functionality. Drainage from the trash enclosure shall be treated in accordance with City Engineering Standard 1010.B and shall be included in the Post Construction Stormwater Regulation compliance summary. *Trash enclosure is shown on the Site Plan on Sheet AC-1. Materials are indicated on the elevations on Sheet A-3 and Detail 4.2/AC-2.*
- The building plan submittal shall show all required street trees. Street trees are required at a rate of one 15-gallon street tree for each 35 linear feet of frontage. The City Arborist shall *New street trees are shown on the Site Plan and indicated by Note #9.1 on Sheet AC-1. Also, see Landscape Notes on Sheet AC-1.*

APPROVED

NOV 02 2020

BUILDING DIVISION
CITY OF SAN LUIS OBISPO



Architecture, Planning & Graphics
3592 Sacramento Dr, Suite 140
San Luis Obispo, California 93401
805/541-5604 voice

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Project:

EXTERIOR
RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

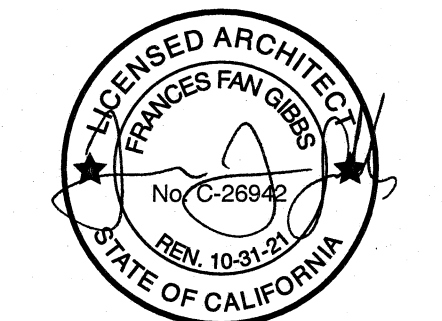
Client:

SLO Q

815 FIERO LANE
SAN LUIS OBISPO
CA 93401
(805) 543 - 0561

Sheet Contents:

CONDITIONS
OF APPROVAL



Date: 21 JULY 2020

Revised:

Job No:

1946

Sheet:

T-2

EXTERIOR RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

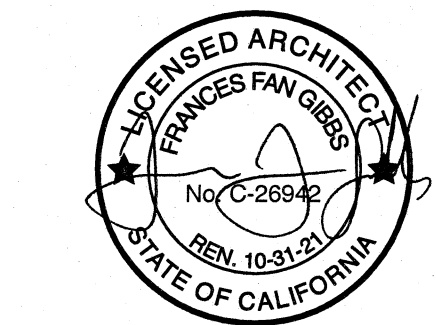
Client:

SLO Q

815 FIERO LANE
SAN LUIS OBISPO
CA 93401
(805) 543 - 0561

Sheet Contents:

SITE PLAN



Date: 17 APR 2020

Revised: 21 JULY 2020 PG#1
26 OCT 2020 PG#2

Job No: 1946

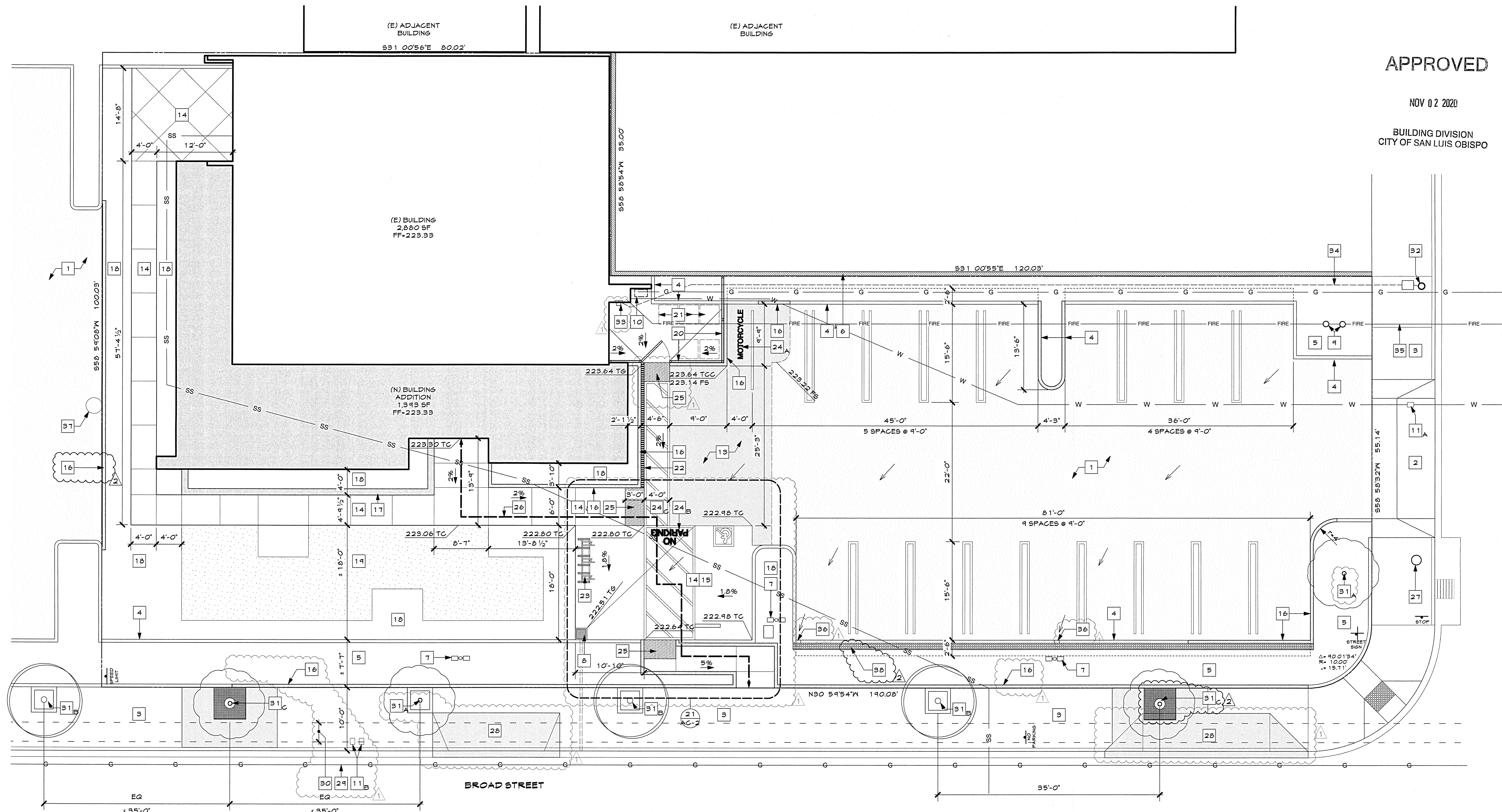
Sheet:

AC - 1

APPROVED

NOV 02 2020

BUILDING DIVISION
CITY OF SAN LUIS OBISPO



SITE PLAN
1/8" = 1' - 0"

GRADING LEGEND

	existing elevation
	finish elevation
TP	top of paving
TC	top of concrete
TCC	top of concrete curb
TG	top of grate
FG	finish grade
FS	finish surface
FL	flow line
TW	top of wall
TB	top of A/C berm
— W	water pipe
— SS	4" sewer pipe
— G	gas pipe
— FIRE	4" fire water pipe

SITE UTILITY NOTES

- All utilities shall be underground. All underground construction shall be completed and approved by the City and the Public Utility companies.
- Provide water pressure regulator as required, 80 PSI maximum.
- Provide a backwater valve on the sewer lateral where the flood level rim of the fixtures served is located below the elevation of the next upstream sewer manhole.
- Provide back flow prevention devices at all hose bibs.
- Verify location of PG&E, CATV, and Telephone underground service boxes.
- Meter vaults located in an unimproved area, parkway or other landscape area shall be upgraded per City Engineering Standard #6210 to provide a concrete collar around the meter vault.

LANDSCAPE NOTES

- Hand digging is required within the drip line of trees to remain; any exposed roots shall be observed by City Arborist before removing. Contact City Arborist Ron Combs at 781-7023 before commencing with construction, grading or excavations.
- One 15-gallon street tree is required for each 35 lineal feet of frontage or fraction thereof. Tree species and planting requirements shall be per City engineering standards.

SITE GENERAL NOTES

- The General Contractor shall be responsible for field verifying all existing conditions. All discrepancies shall be brought to the immediate attention of the Architect.
- All work located within the public right-of-way or within the jurisdiction of the Utilities & Public Works Departments shall comply with the most current edition of the Engineering Standards and Standards Specification Current adopted standards are dated August 2014.
- Dust control is to be maintained at all times.
- Portable fire 2A 10BC extinguishers shall be on site during construction per CFC Standard 10-1.
- Provide approved street address numbers in a position to be plainly visible from the road, minimum 6" high.
- Any sections of damaged or displaced curb, gutter & sidewalk or driveway approach shall be repaired or replaced to the satisfaction of the Public Works Director.
- Contact the Public Works Inspection hotline at 781-7554 with at least a 48 hour notice for any required encroachment permit inspection or final inspection.
- Landings at exterior doors shall equal width of door and a length in the direction of travel equal to a min of 36 inches. Slope 1% min and 2% max away from building.
- Existing lot corner survey monuments shall be protected in place or shall be tied out by a licensed land surveyor prior to disturbance and then replaced prior to occupancy in accordance with Section 8711 of the California Business and Professional Code.

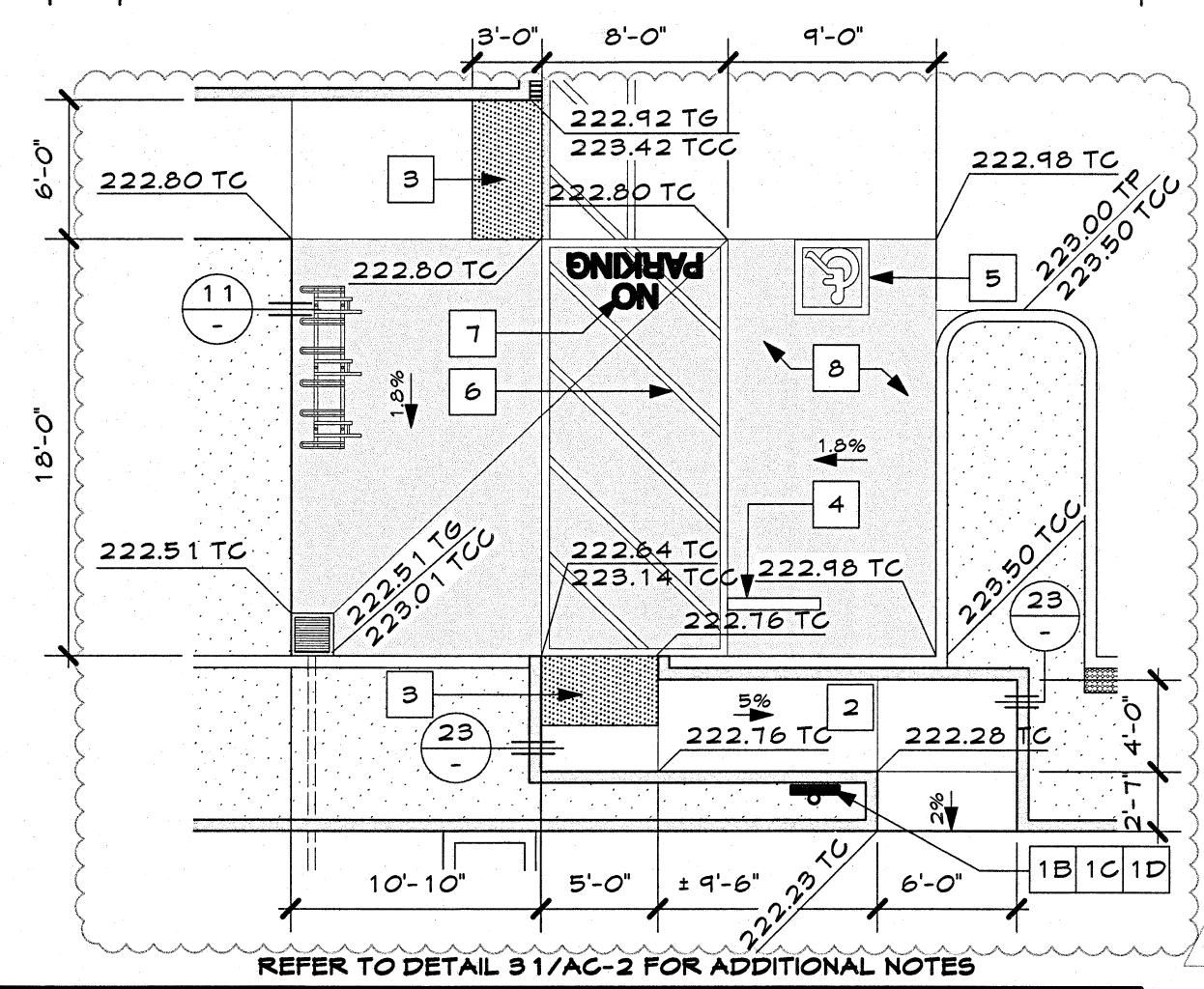
SITE PLAN REFERENCE NOTES

- EXISTING ASPHALT PARKING AREAS - NEW STRIPING PER CITY STANDARD 2240 AND 2250
- EXISTING DRIVEWAY CURB CUT WITH ACCESSIBLE WALKWAY
- EXISTING SIDEWALK (REFER TO SITE GENERAL NOTE #6)
- EXISTING 6" CONC CURB
- EXISTING PLANTING AREA
- EXISTING RETAINING WALL
- EXISTING LIGHT POLE
- EXISTING SURFACE DRAIN - FLOWS TO GUTTER THROUGH CURB
- EXISTING FIRE DEPARTMENT CONNECTION AND PIV
- EXISTING GAS METER
- EXISTING WATER METER VAULT
A. 5/8" METER
B. EMPTY - NO METER
- EXISTING SEWER LINE
- ASPHALT PARKING AREAS - SHOWN SHADED - MATCH EXISTING
- CONCRETE WALKS AND SLAB AREAS - 6" SLAB W/ #4 @ 18" O.C. EA MAY OVER 7" CL II BASE
- CONCRETE ACCESSIBLE PARKING SPACE AND ACCESS AISLE
- 6" CONC CURB
- 12" W x 18" H CONC SEAT WALL
- PLANTING AREA
- COMPACTED DECOMPOSED GRANITE AREA
- 6'-0" H WOOD FENCE W/ GATE

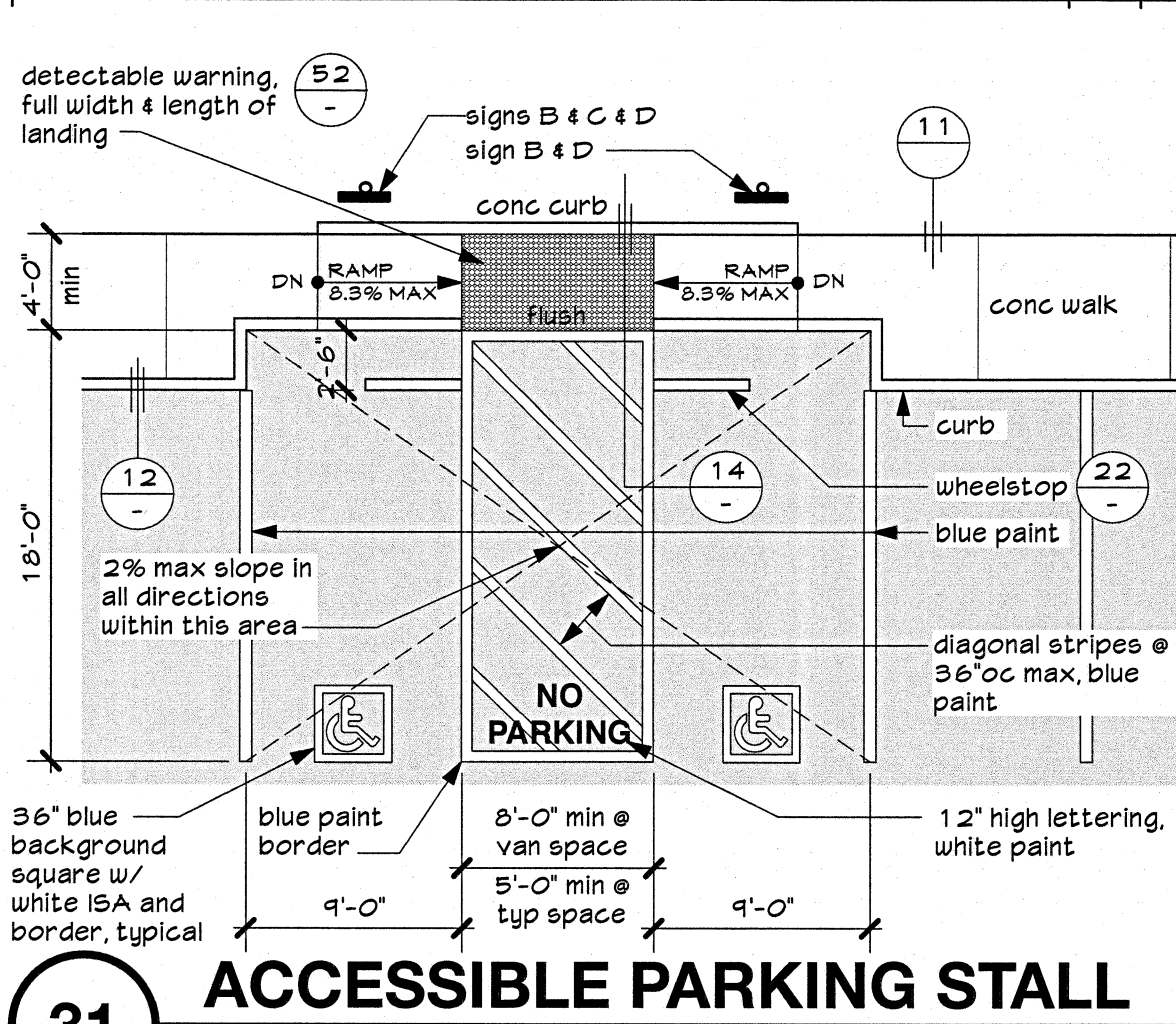
- TRASH CONTAINER AREA
- STRIP DRAIN - CONNECT TO EXISTING DRAIN INLET (NOTE 8)
- BIKE RACK - 6 BIKES
- TRAFFIC PAINT
A. "MOTORCYCLE" - 5" HIGH LETTERS
B. "NO PARKING" - 12" HIGH LETTERS & STRIPES @ 36" O.C. MAX
C. ACCESS AISLE - BLUE OUTLINE W/ WHITE STRIPES @ 36" O.C.
- TRUNCATED DOMES
- ACCESSIBLE PATH OF TRAVEL FROM FRONT DOOR TO PUBLIC WAY, CROSS SLOPE NOT TO EXCEED 2%, SLOPE IN DIRECTION OF TRAVEL NOT TO EXCEED 5%
- EXISTING FIRE HYDRANT
- EXISTING CURB CUT TO BE REMOVED AND REPLACED WITH SIDEWALK, CURB AND GUTTER PER STANDARD 4110.
- EXISTING UNDERGROUND 6" GAS LINE
- EXISTING UNDERGROUND 36" STORM DRAIN
- STREET TREES - INSTALL PER CITY STANDARD 8020, 8220 & 8130
A. NEW TREE - ARBUTUS X "MARINA" - MIN 15 GAL - IN (E) WELL
B. EXISTING TREE TO REMAIN
C. NEW TREE - ARBUTUS X "MARINA" - MIN 15 GAL - IN NEW WELL
- EXISTING POWER POLE
- EXISTING ELECTRICAL METER/SERVICE ENTRANCE
- EXISTING UNDERGROUND ELECTRIC SERVICE
- EXISTING UNDERGROUND FIRE LINE
- CUT OUT 8" OF CURB TO ALLOW DRAINAGE INTO LANDSCAPE AREA
- EXISTING MANHOLE COVER
- INFILTRATION TRENCH - SEE DETAIL 54 AC-2

ENLARGED PARKING PLAN REF NOTES

- POLE-MOUNTED SIGNAGE - REFER TO 31/AC-1.2
A. SIGN A
B. SIGN B
C. SIGN C
D. SIGN D
- ACCESS WALKWAY - MAX SLOPE 5% IN DIRECTION OF TRAVEL. MAINTAIN LEVEL LANDINGS. ADJUST LENGTH PER SITE CONDITIONS.
- DETECTABLE MARNING - REFER TO DETAIL 52/AC-2
- WHEEL STOP - REFER TO DETAIL 22/AC-2
- 36" BLUE BACKGROUND SQUARE W/ WHITE ISA AND BORDER
- BLUE PAINT BORDER W/ WHITE DIAGONAL STRIPES AT 36" O.C.
- 12" HIGH, WHITE PAINT LETTERING
- CROSS SLOPE IN SHADED AREA NOT TO EXCEED 2% IN ANY DIRECTION



51 ENLARGED PARKING PLAN
1/8" = 1' - 0"



31 ACCESSIBLE PARKING STALL
NO SCALE

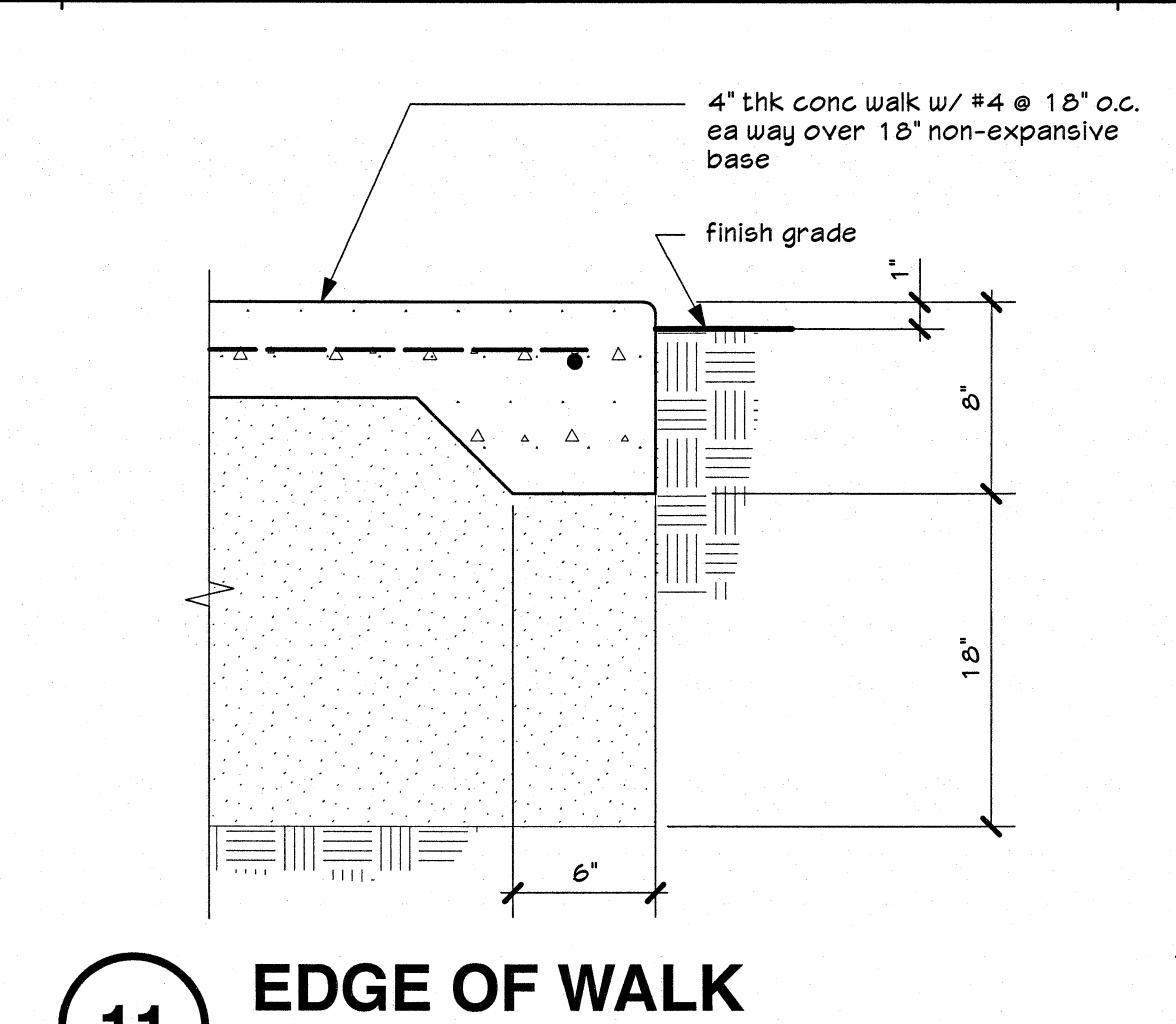
SIGN A
The following sign shall be posted in a conspicuous place at each entrance to off-street parking facilities, or immediately adjacent to and visible from each stall or space:
A 22" x 11" ground sign with 1" high letters to read:
"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING FLAGARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____"
Blank spaces must be filled in with 1" min high lettering.

SIGN B
70" square inches, International Symbol of Accessibility (ISA)

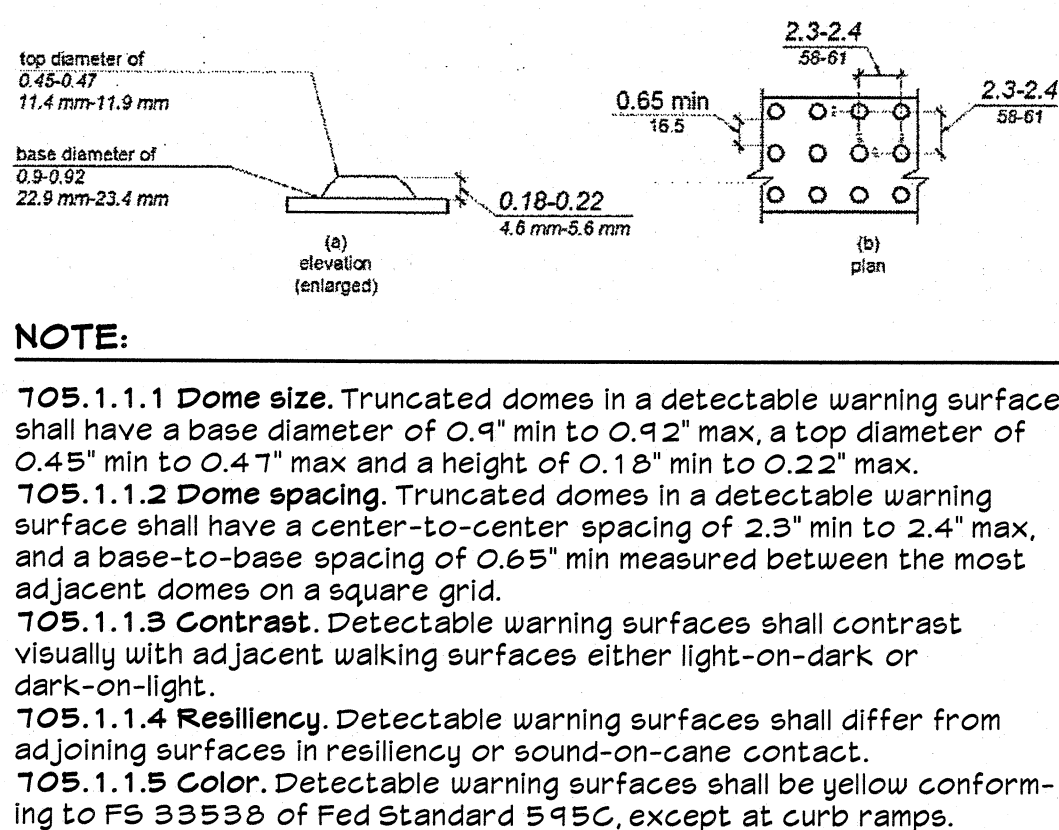
SIGN C
"VAN ACCESSIBLE" sign, 1" high letters mounted between signs "B" & "D"

SIGN D
"MINIMUM FINE \$250" sign

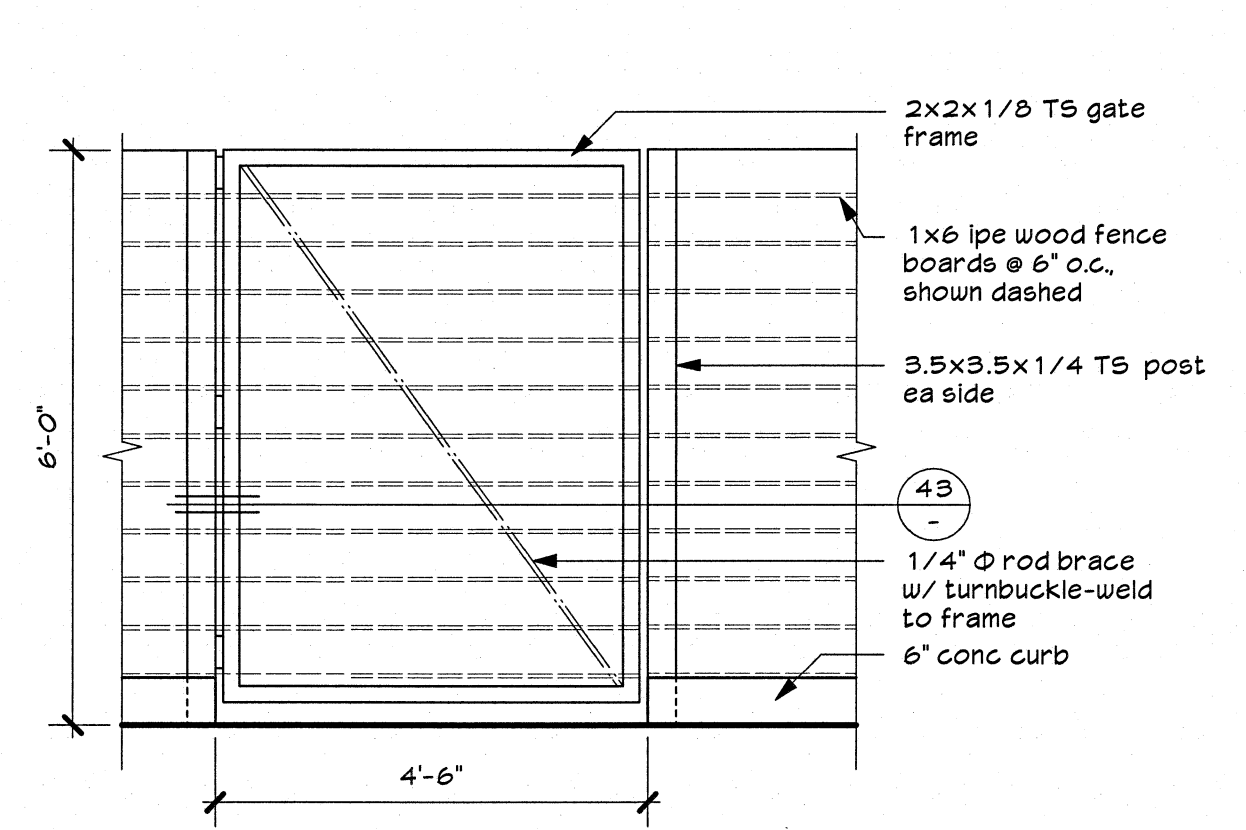
MOUNTING HEIGHT
Bottom of lowest sign shall be mounted at +0" above finish grade for free standing pole signs, or at +6" above finish grade on building surface (when building adjacency occurs).



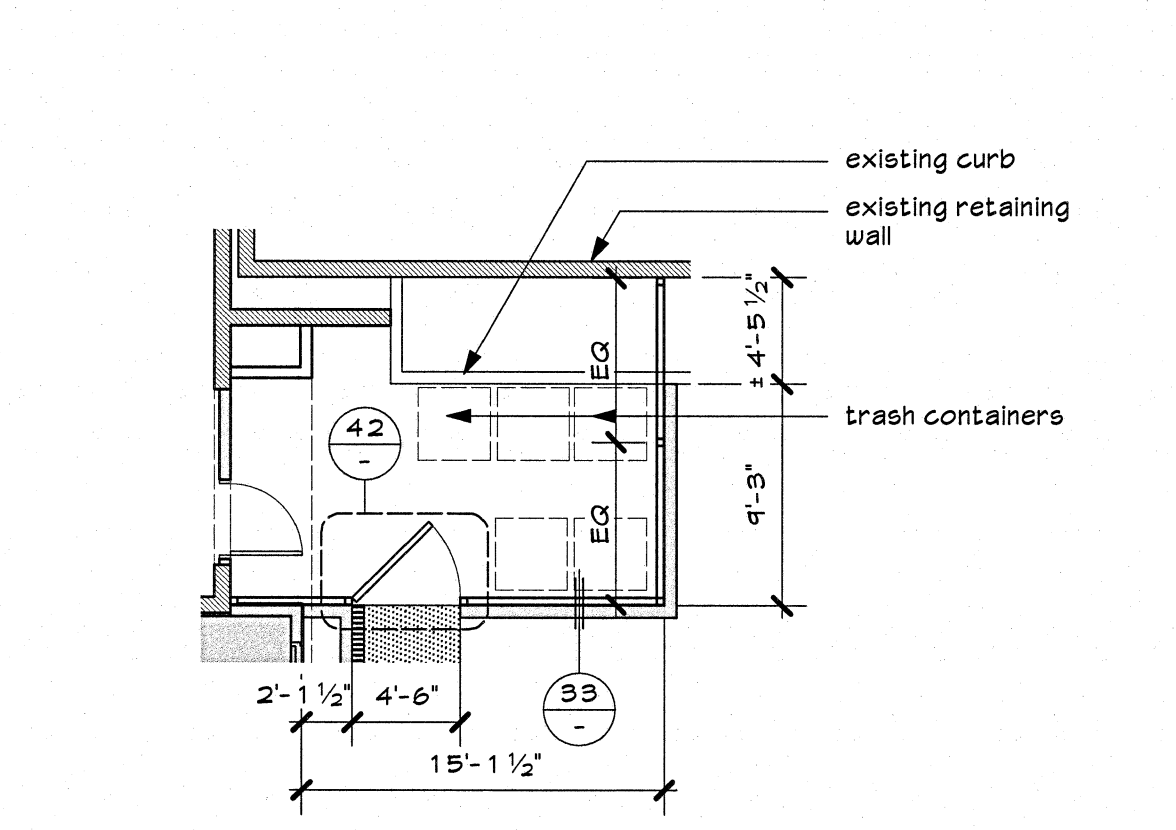
11 EDGE OF WALK
1 1/2"



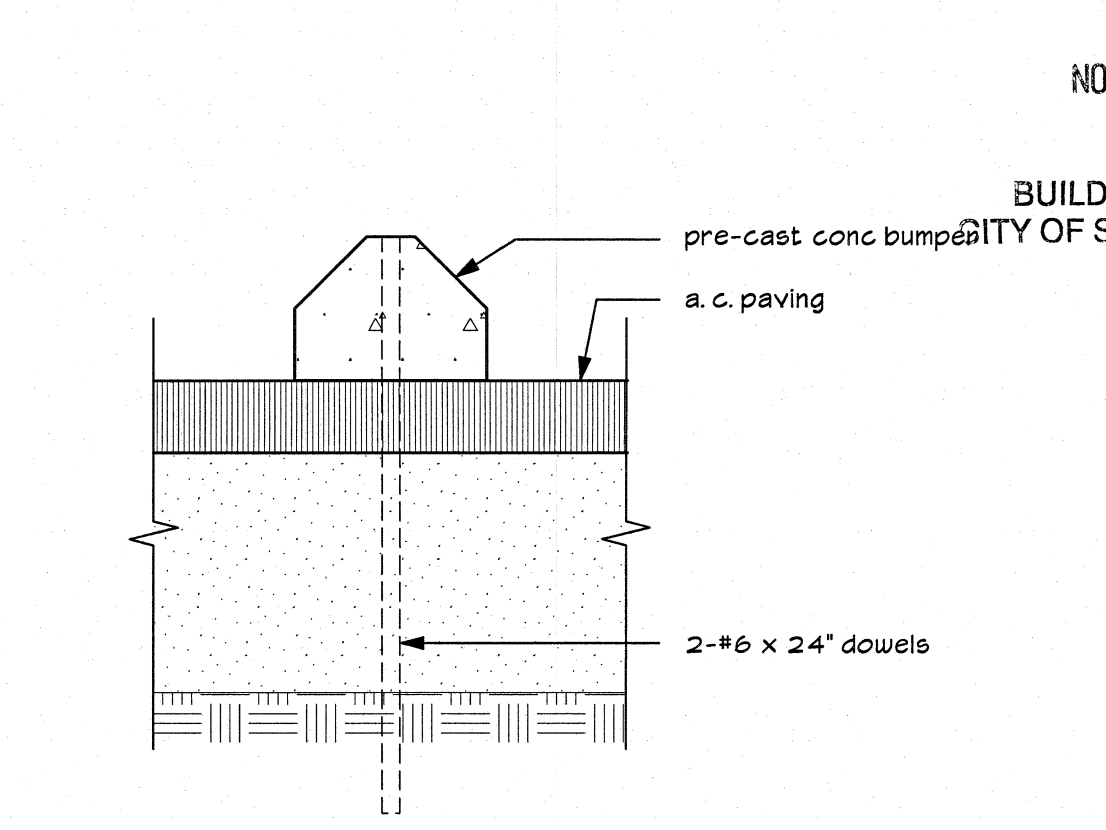
52 TRUNCATED DOMES
NO SCALE



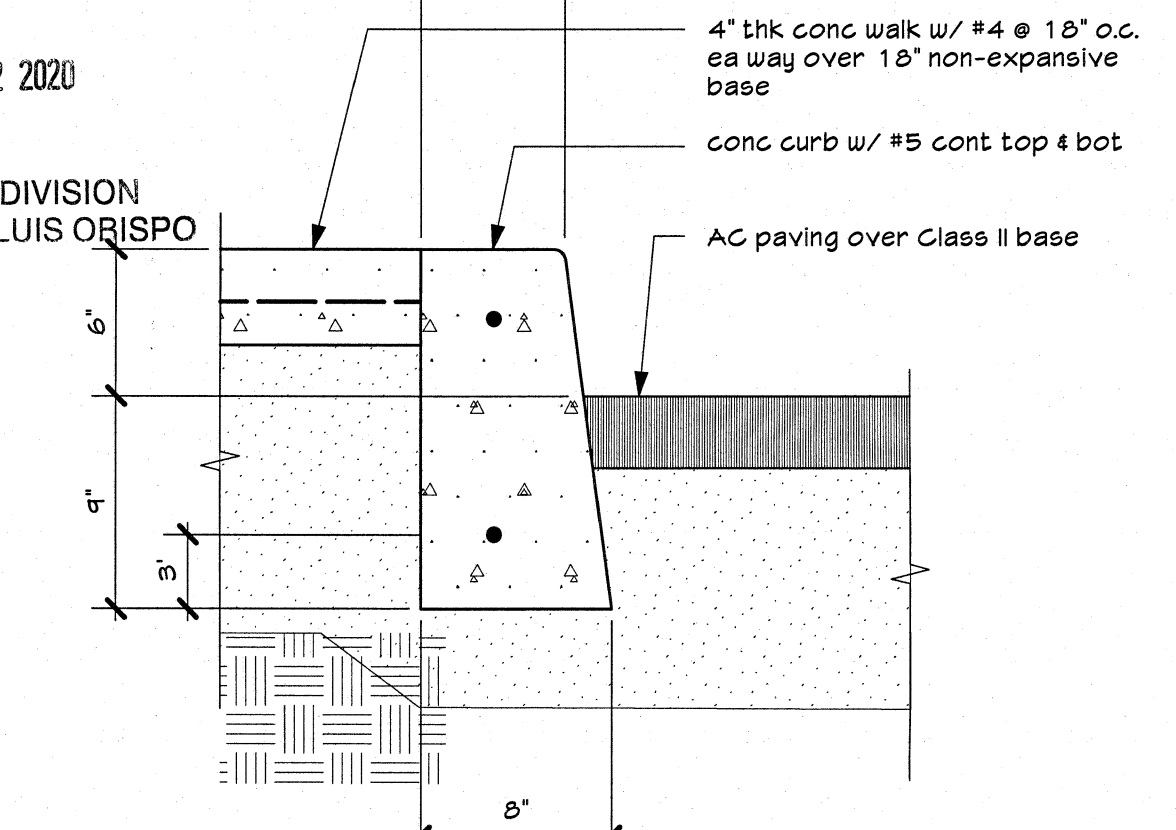
42 TRASH GATE
1/2" = 1'-0"



32 TRASH ENCLOSURE
1/8" = 1'-0"



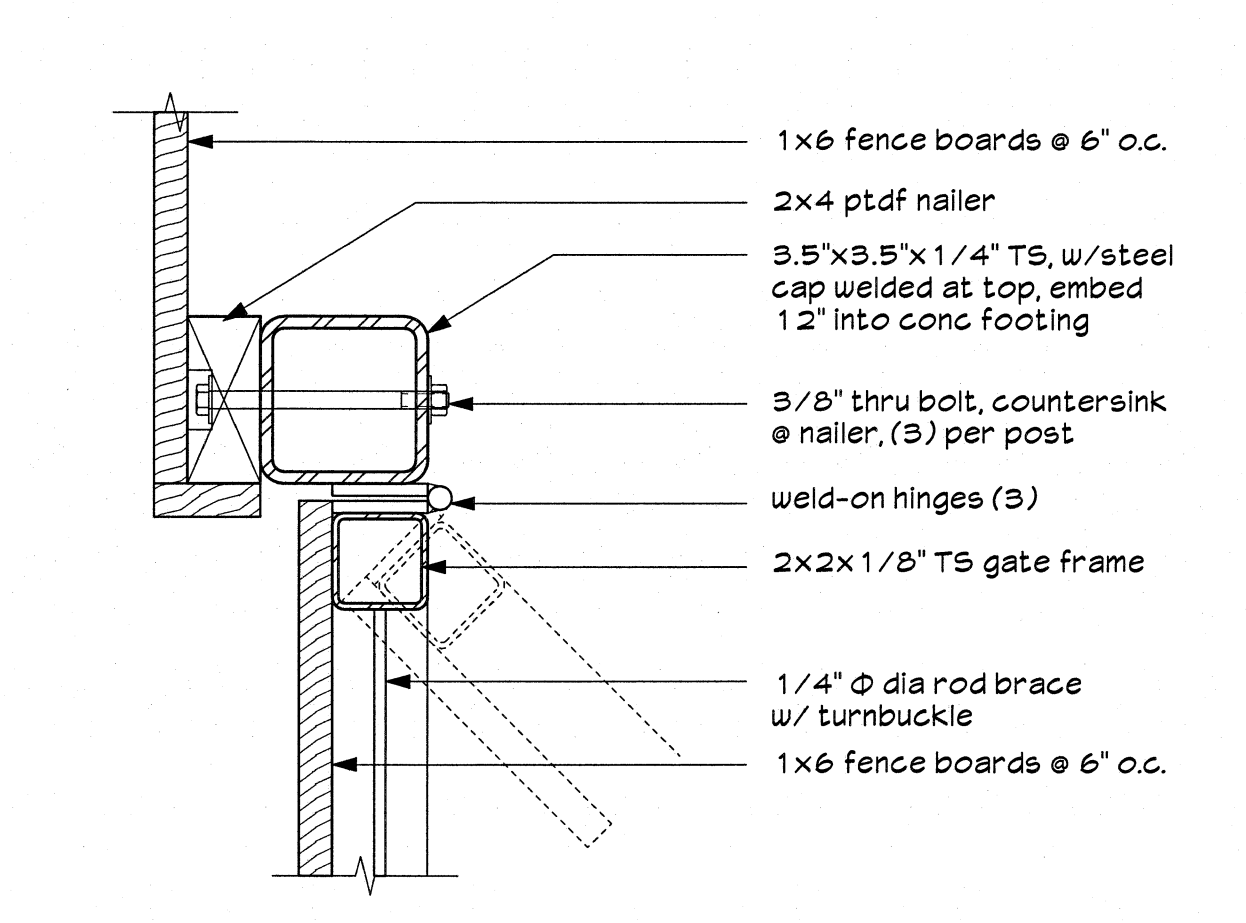
22 WHEEL STOP
1 1/2"



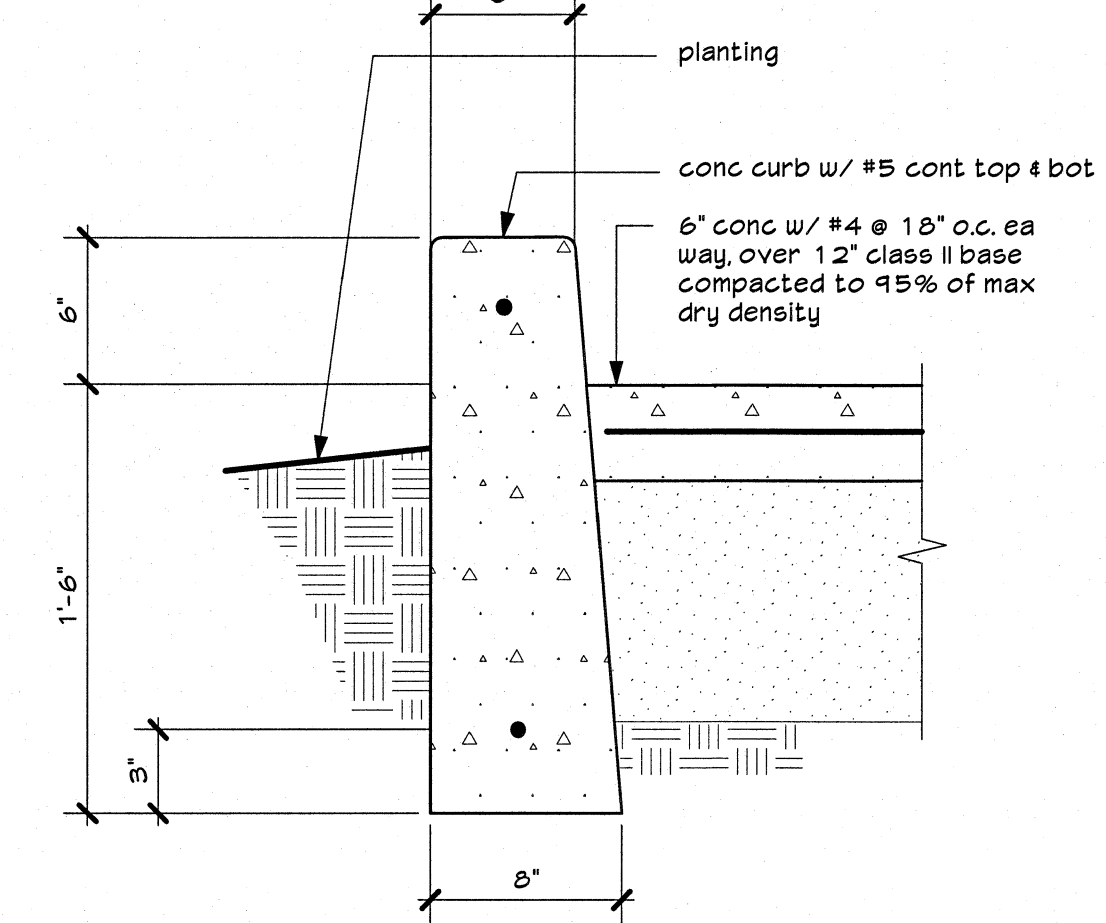
12 CONCRETE CURB @ WALK
1 1/2"



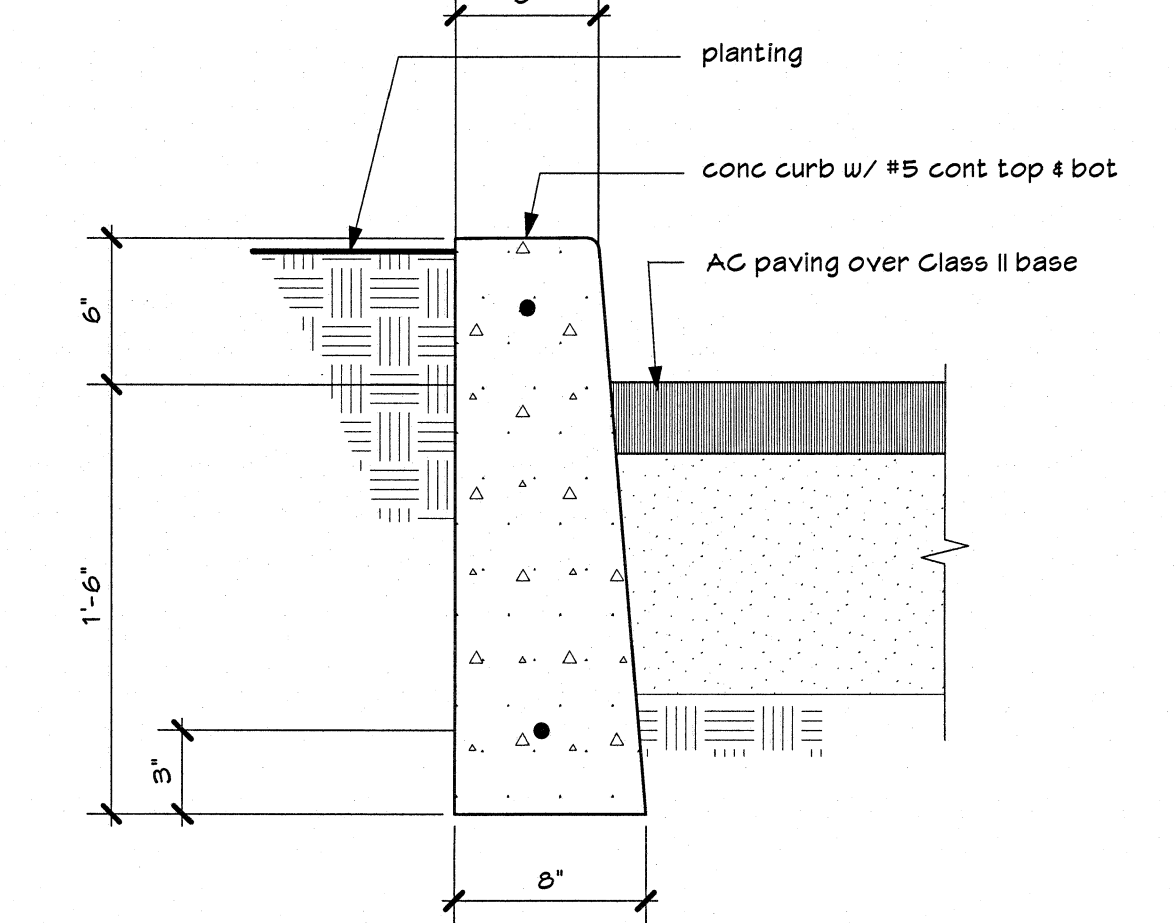
43 GATE JAMB
3"



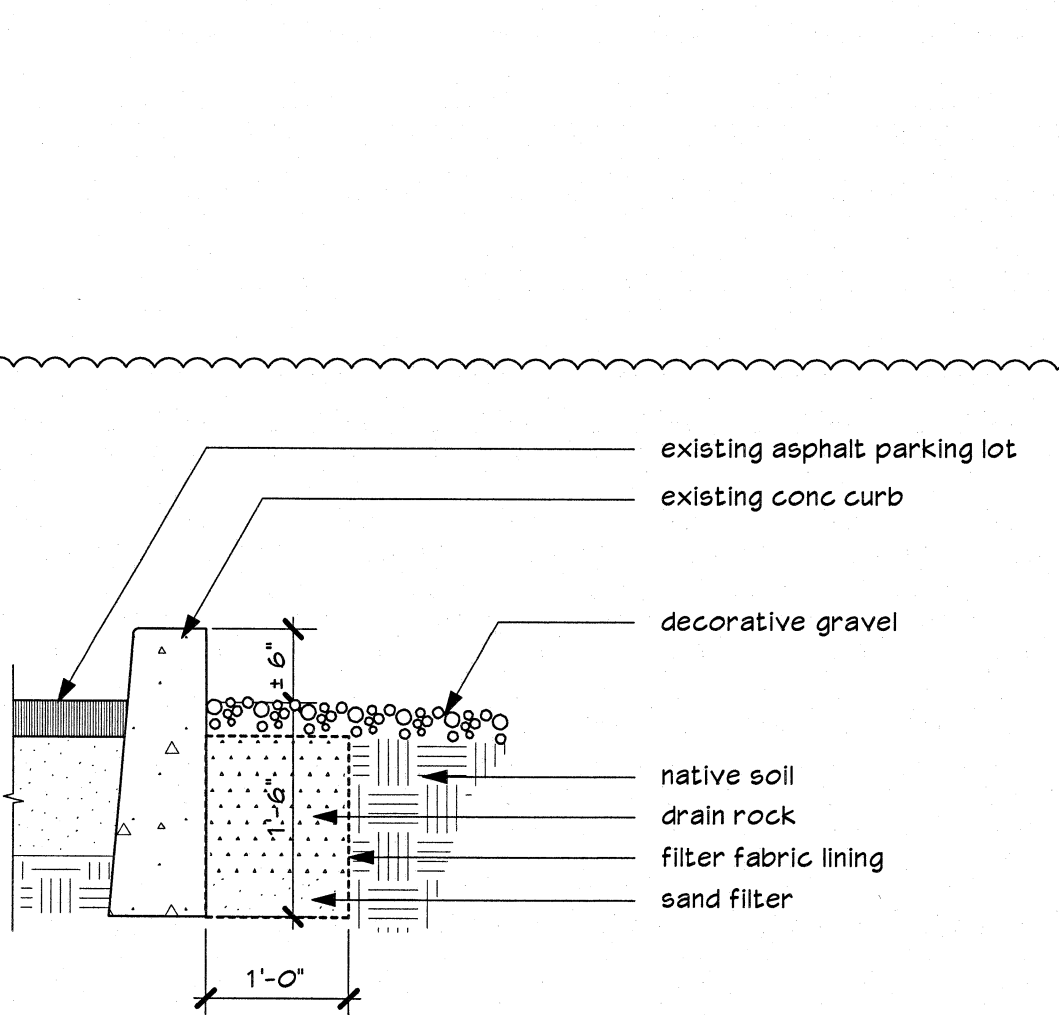
33 TRASH ENCLOSURE
1/2"



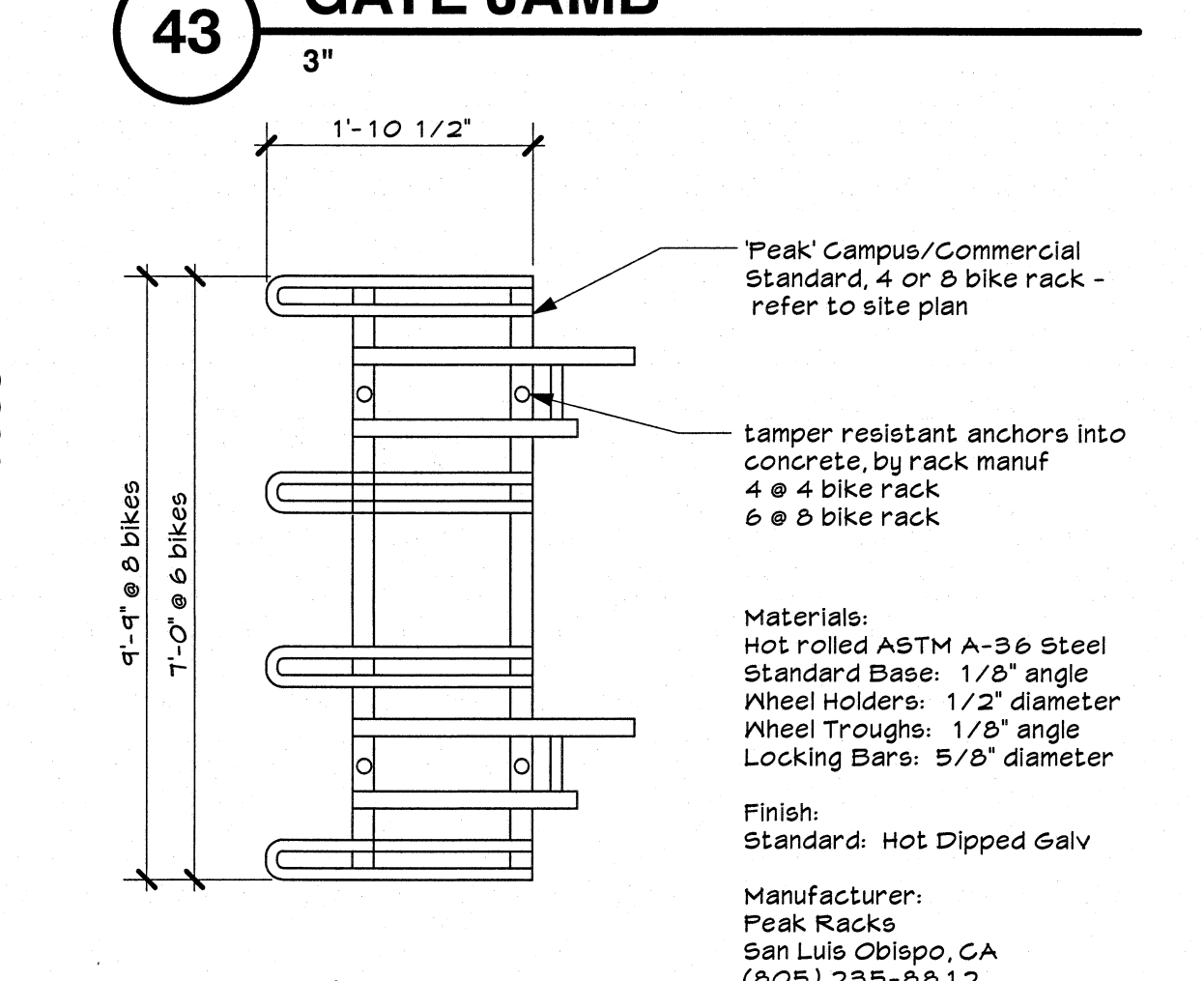
23 CONCRETE CURB
1 1/2"



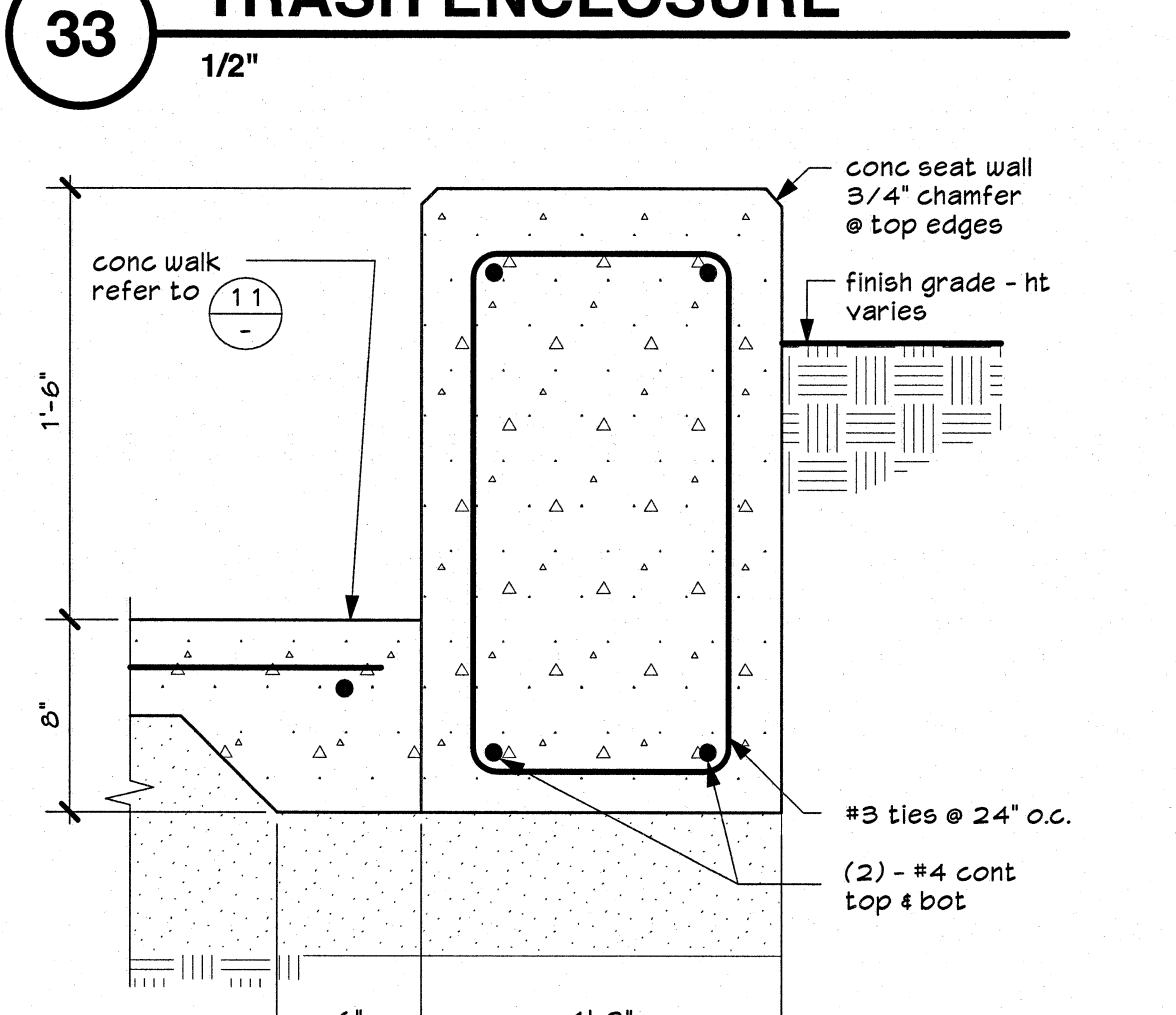
13 CONCRETE CURB
1 1/2"



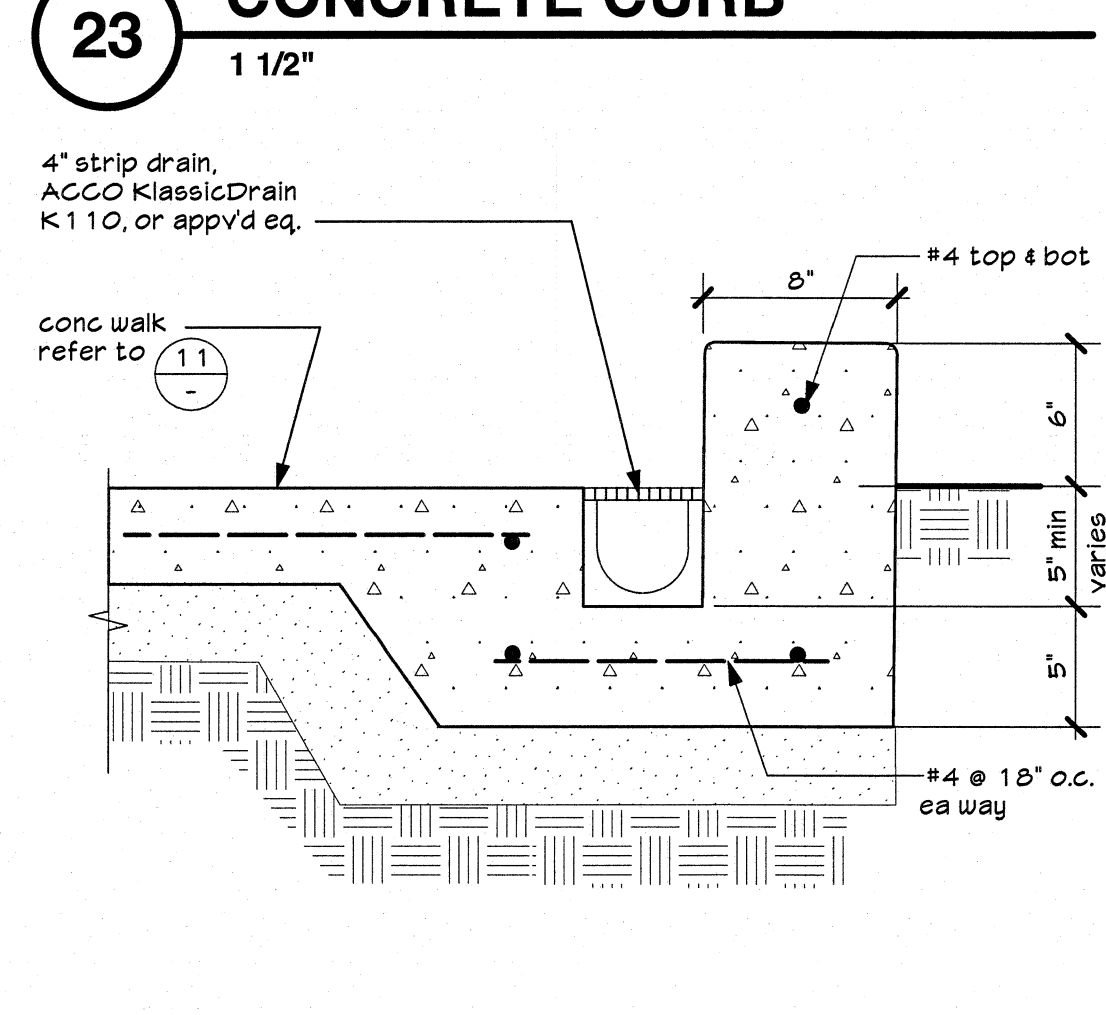
54 INFILTRATION TRENCH
3/4"



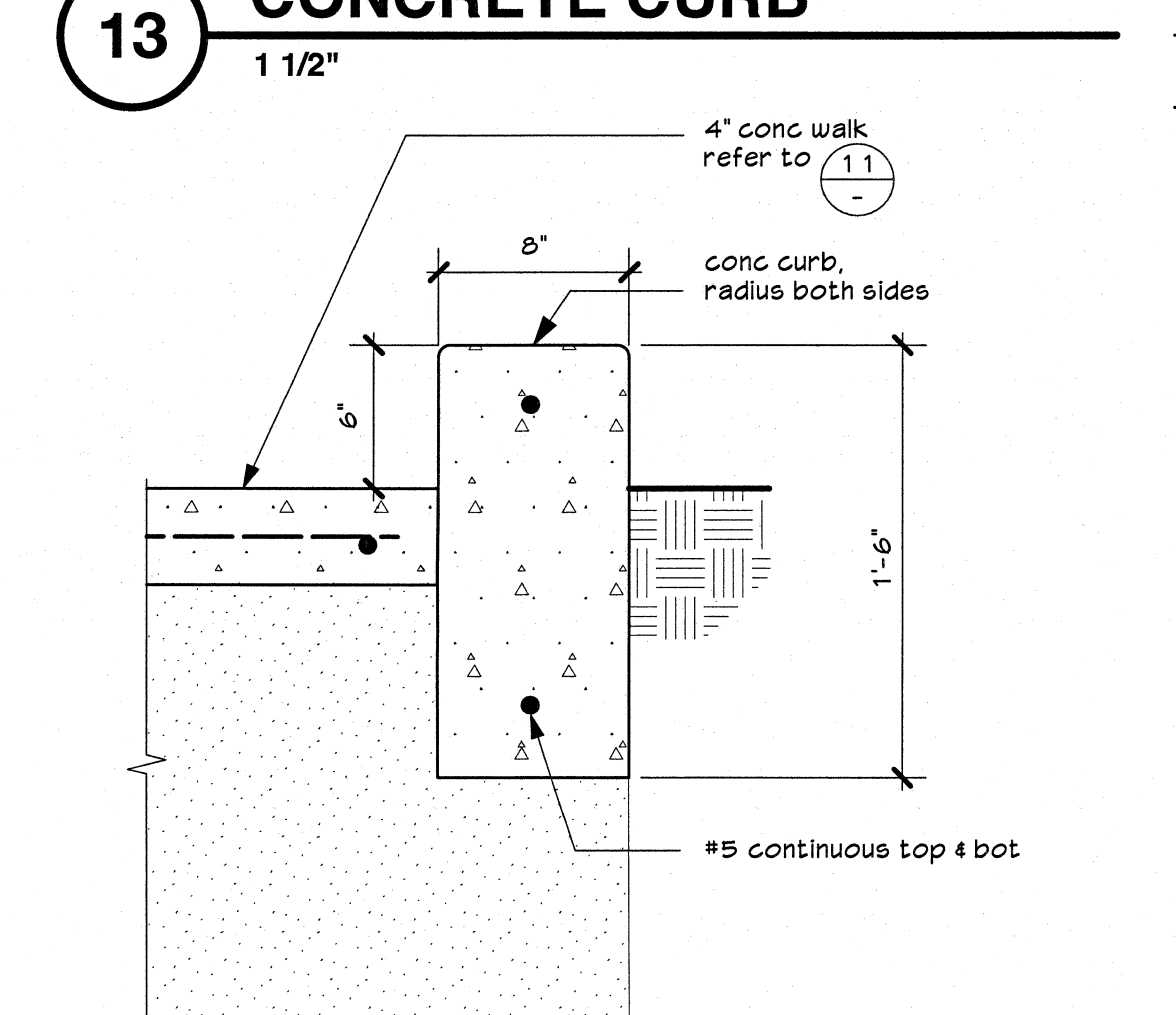
44 BIKE RACKS
3/4"



34 SEAT WALL
1 1/2"



24 STRIP DRAIN
1 1/2"



14 PLANTER CURB
1 1/2"

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San Luis Obispo, California 93401
805/541-5604 voice

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Project:

EXTERIOR RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

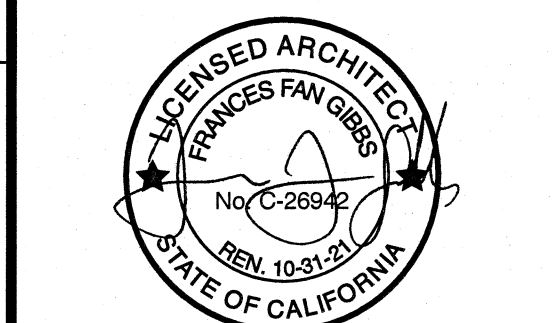
Client:

SLO Q

815 FIERO LANE
SAN LUIS OBISPO
CA 93401
(805) 543 - 0561

Sheet Contents:

SITE DETAILS



Date: 11 APR 2020

Revised: 1. 21 JULY 2020 PC#1
2. 6 OCT 2020 PC#2

Job No: 1946

Sheet:

AC - 2

Project:

EXTERIOR RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

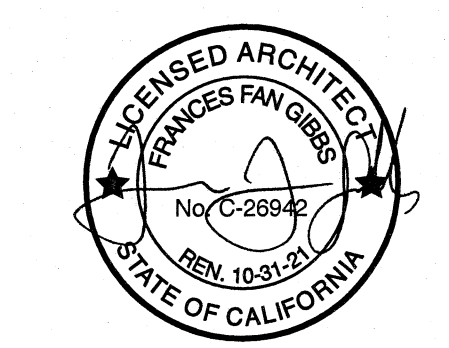
Client:

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CA 93401
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Sheet Contents:

DEMOLITION PLAN



Date: 17 APR 2020
Revised:

Job No: 1946

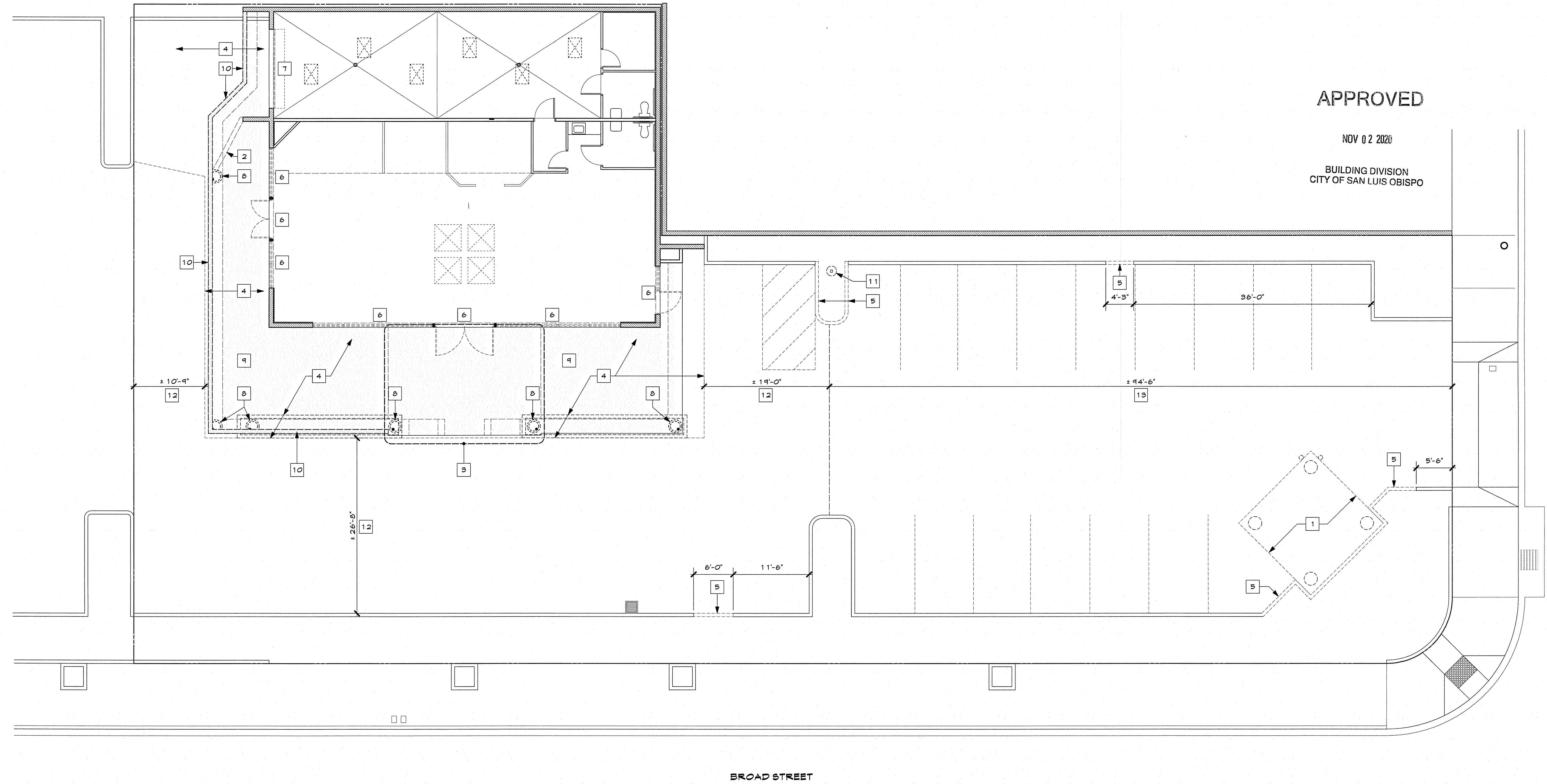
Sheet:

D - 1

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NOV 02 2020

BUILDING DIVISION
CITY OF SAN LUIS OBISPO



DEMOLITION PLAN
1/8" = 1' - 0"

DEMOLITION GENERAL NOTES

1. It is the responsibility of the General Contractor to verify all existing conditions prior to any work. The Architect shall be notified of any and all discrepancies prior to proceeding with any work.
2. It is the responsibility of the General Contractor to leave the project area in a clean, safe and orderly condition. The Contractor shall maintain all public areas free of construction material and debris.
3. It is the responsibility of the General Contractor to leave all existing exits and passageways unblocked.
4. It is the responsibility of the General Contractor to safely cap, seal or terminate all plumbing, mechanical or electrical components as necessary at areas of demolition.
5. All items to be re-used or returned to owner shall be maintained in good condition. All items to be removed shall be maintained by the owner at his discretion, or shall be removed off-site to be recycled, or delivered to an appropriate dump site. All materials shall be disposed of in accordance with local agency requirements.
6. All walls shown to be removed have been verified with the original structural plans and determined to be non-load-bearing and non-shear walls.
7. Remove all parking lot striping.

DEMOLITION REFERENCE NOTES

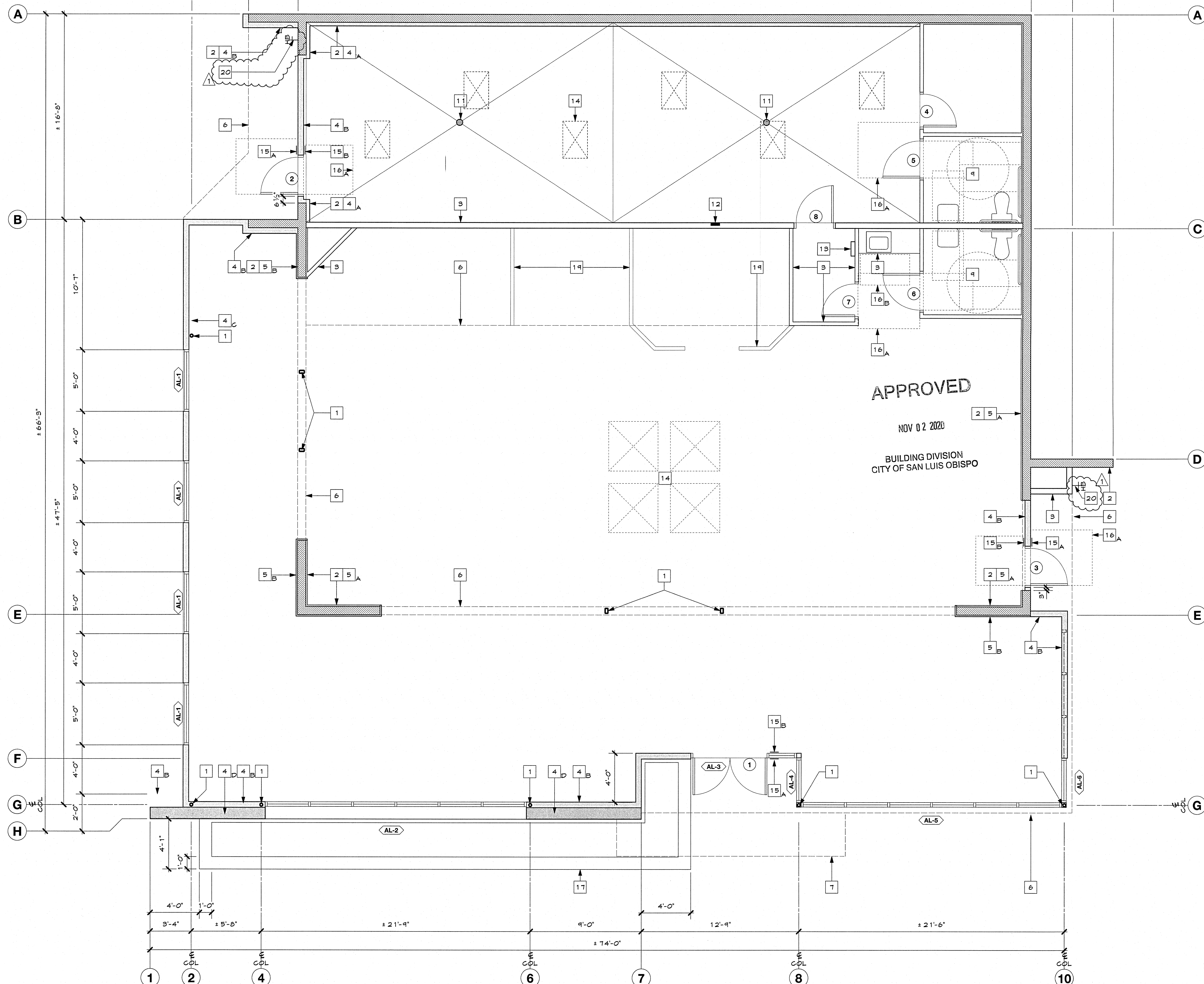
1. EXISTING FREE-STANDING KIOSK STRUCTURE TO BE REMOVED
2. EXISTING LOW STUCCO WALL TO BE REMOVED
3. EXISTING GABLE-END ROOF STRUCTURE TO BE REMOVED, CEILING FRAMING TO REMAIN
4. EXISTING CONCRETE SLAB AND PLANTERS TO BE REMOVED, UNDER-SLAB GRADE BEAM TO REMAIN
5. EXISTING CONCRETE CURB TO BE REMOVED
6. EXISTING ALUMINUM STOREFRONT SYSTEM TO BE REMOVED
7. EXISTING ROLL-UP DOOR TO BE REMOVED
8. EXISTING FURRING AT COLUMN TO BE REMOVED
9. EXISTING STUCCO FINISH AT CEILING, WALLS AND FACE OF PARAPETS TO BE REMOVED IN SHADED AREA
10. EXISTING PARAPET FRAMING TO BE REMOVED
11. EXISTING LIGHT POLE AND CONC FOOTING TO BE REMOVED
12. EXISTING ASPHALT TO BE REMOVED
13. EXISTING ASPHALT TO REMAIN, PARKING STRIPING TO BE REMOVED

FLOOR PLAN GENERAL NOTES

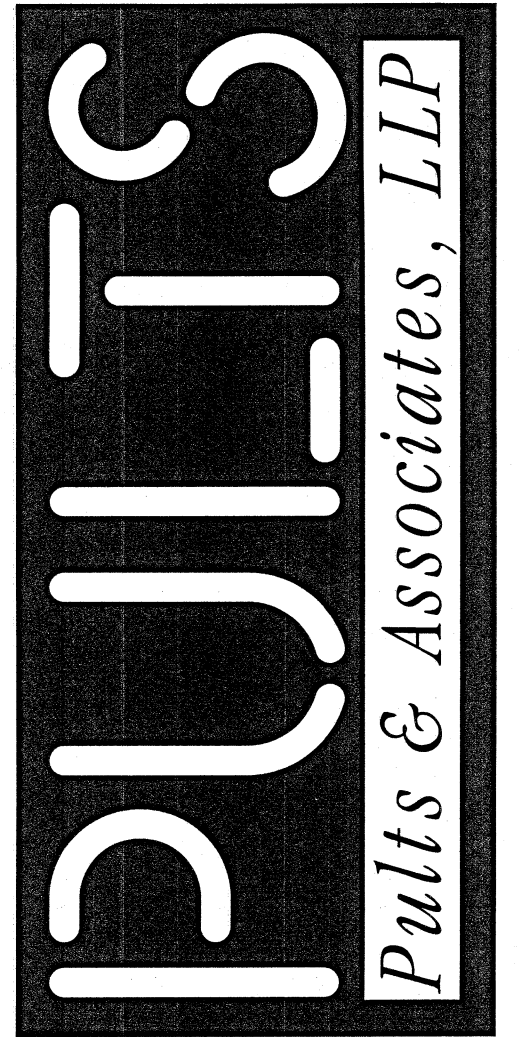
- It is the responsibility of the General Contractor to verify all existing conditions prior to construction. Any discrepancies shall be brought to the immediate attention of the Architect.
- Contractor shall provide and maintain portable 2A 10BC fire extinguishers on site during construction and at each building exit.
- All new interior walls shall have batt insulation to match stud width & all new ceilings/floors shall have R-30 batt insulation.
- All plumbing walls shall have R-19 batt insulation.
- There shall be a level and clear floor or landing on each side of a door. The level area shall have a length in the direction of door swing of at least 6'-0" and the length opposite the direction of door swing of 4'-8" as measured at right angles to the plane of the door in the closed position. Refer to detail 49/A-4.

FLOOR PLAN REFERENCE NOTES

- EXISTING STEEL COLUMN. REFER TO STRUCTURAL SHEETS
- EXISTING CMU WALL
- EXISTING WOOD FRAMED WALL TO REMAIN
- A. 2 X 4 STUD WALL
B. 2 X 6 STUD WALL
C. 2 X 8 STUD WALL
D. 2 X 12 STUD WALL
- FURRING CHANNEL
A. EXISTING TO REMAIN
B. NEW 3/4" HAT CHANNEL
- LINE OF FLOOR, CEILING OR SOFFIT ABOVE
- LINE OF ALUMINUM CANOPY ABOVE
- ROOF AND/OR OVERFLOW DRAINS. REFER TO ROOF PLAN
- EXISTING ADA ACCESSIBLE TOILET ROOMS
- EXISTING 34" HIGH COUNTER W/ SINK
- EXISTING FLOOR DRAIN
- EXISTING ELECTRICAL PANEL
- EXISTING FIRE ALARM CONTROL PANEL
- EXISTING SKYLIGHT ABOVE, SHOWN DASHED
- SIGNAGE. REFER TO MOUNTING HEIGHT DETAILS & NOTES ON SHT A-6.1. MOUNT SIGNAGE BACK TO BACK WITH INTERNATIONAL SYMBOL OF ACCESS, WHERE OCCURS AT GLASS AREAS
A. INTERNATIONAL SYMBOL OF ACCESS
B. EXIT
C. EXIT ROUTE
D. WOMEN
E. MEN
- ADA CLEAR ACCESS AREA
A. DOOR ACCESS CLEARANCE. REFER TO DETAIL 15/A-6.1
B. 30" X 48" CLEAR FLOOR SPACE
- CONCRETE SEAT MALL
- 2A 10 PORTABLE FIRE EXTINGUISHER IN RECESSED CABINET MOUNT AT 48" TO CENTERLINE OF VALVE HANDLE
- EXISTING GLASS BLOCK PARTITION WALL
- EXISTING HOSE BIB



FLOOR PLAN
1/4" = 1' - 0"



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Project:

EXTERIOR RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

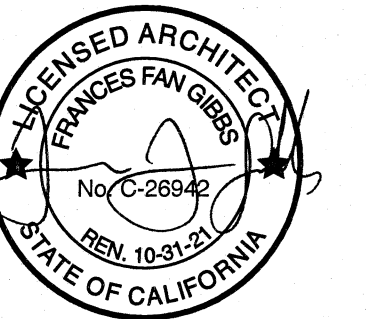
Client:

SLO Q

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CA 93401
(805) 543 - 0561

Sheet Contents:

FLOOR PLAN



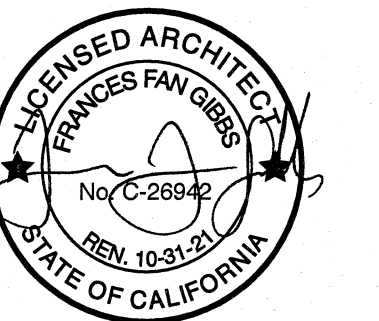
Date: 17 APR 2020

Revised: 21 JULY 2020 PC#1

Job No: 1946

Sheet:

A - 1

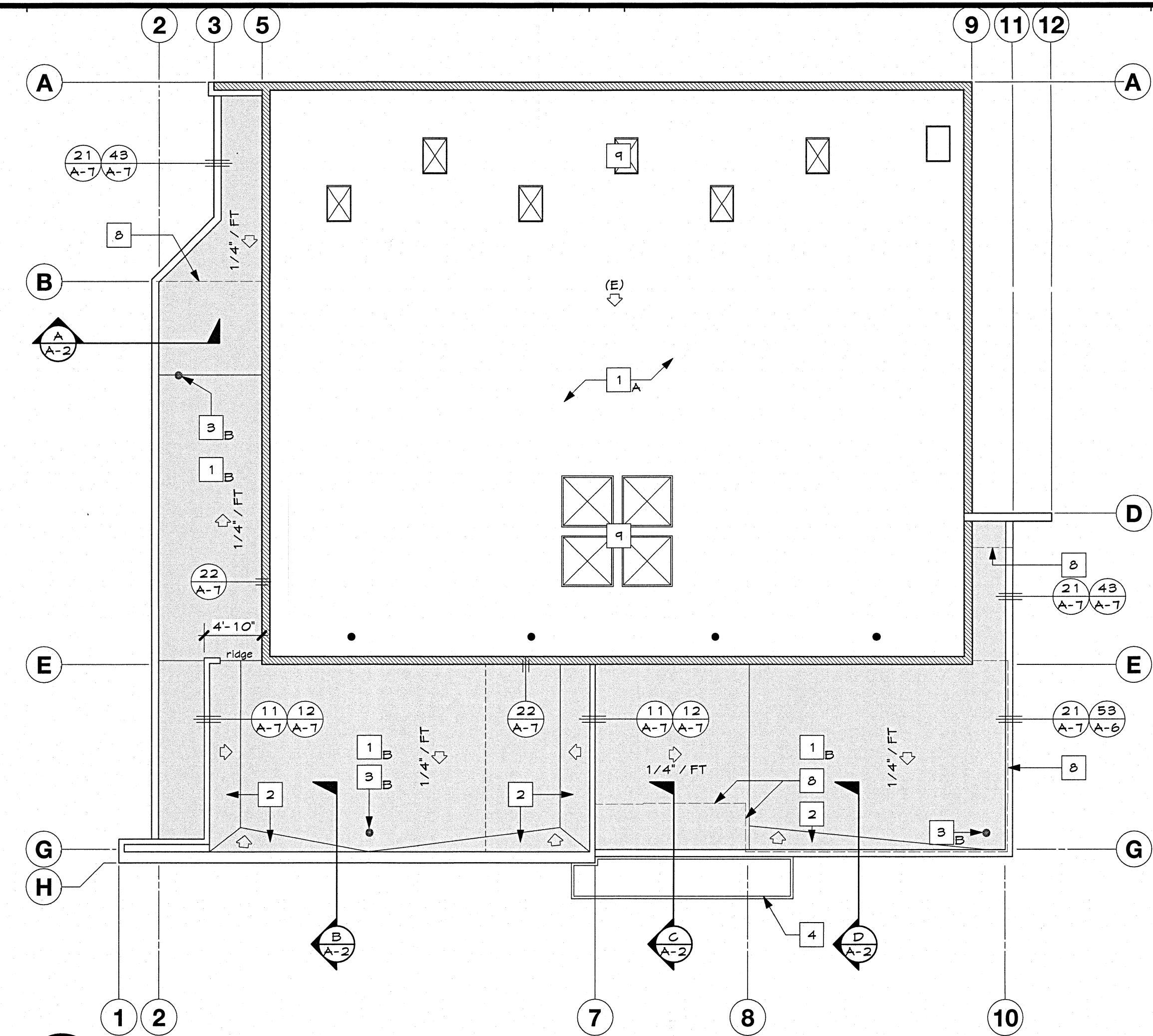


ROOF REFERENCE NOTES

1. SINGLE PLY ROOFING
A. EXISTING TO REMAIN
B. NEW, SHOWN GREY
2. CRICKET W/ 1/2" PER FT SLOPE MINIMUM, UNO
3. ROOF DRAIN
A. EXISTING TO REMAIN
B. NEW, REFER TO 3 1/A-1.2
4. ALUMINUM CANOPY W/ HANGER RODS BELOW
5. DOWNSPOUT CONNECTION BELOW CANOPY
6. MECHANICAL UNITS - REFER TO MECHANICAL PLANS
7. FUTURE MECHANICAL UNIT LOCATIONS
8. LINE OF BUILDING BELOW
9. EXISTING SKYLIGHTS, TO REMAIN
10. MECHANICAL EQUIPMENT PLATFORM

ROOF NOTES

1. **ROOFING MEMBRANE**
Roofing membrane shall be Johns Manville PVC 80mil SP8RM mechanically attached roofing system fastened, adhered and joined per manufacturer's specifications. Underlayment to be 1/4" thick (min) US Gypsum Co. SECURROCK Glass-Mat Roof Board (Type S6MRX) over 15/32" (min) roof deck. System is UL Class A fire-rated. UL Listing T6FUR 10167
2. **FLASHING**
All flashing shall be corrosion resistant metal flashing; galvanized (zinc coated 390) steel.
Minimum gauge shall be: coping _____ 22 GA
base _____ 24 GA
counter _____ 24 GA
3. **ROOF DRAIN LINES**
Provide 4" (horizontal 4 vertical) roof drain lines typ, u.n.o. Size per plumbing plans. Extend drain lines through framing, down walls to below grade. Refer to Grading Plan for continuation.
4. **OVERFLOW DRAIN LINES**
Extend overflow drain lines through framing, to soffit. Refer to 3 1/A-1.2
5. **HORIZONTAL PIPING**
All horizontal piping shall have a minimum 1/4" per foot slope.
6. **GUTTERS & DOWNSPOUTS**
6S gutters, 6" wide, 24 GA, shape sim to SMACNA Fig 1-2, Style A, 6S downspouts, 6" wide x 6" deep, 22 GA, shape per SMACNA Fig 1-3 1B. Gutter & Downspout color Old Zinc Gray (Metal Sales)
7. **CERTIFICATION**
Roofing Contractor shall provide certification of roof covering classification to City, prior to final inspection.



ROOF PLAN
1/8" = 1' - 0"

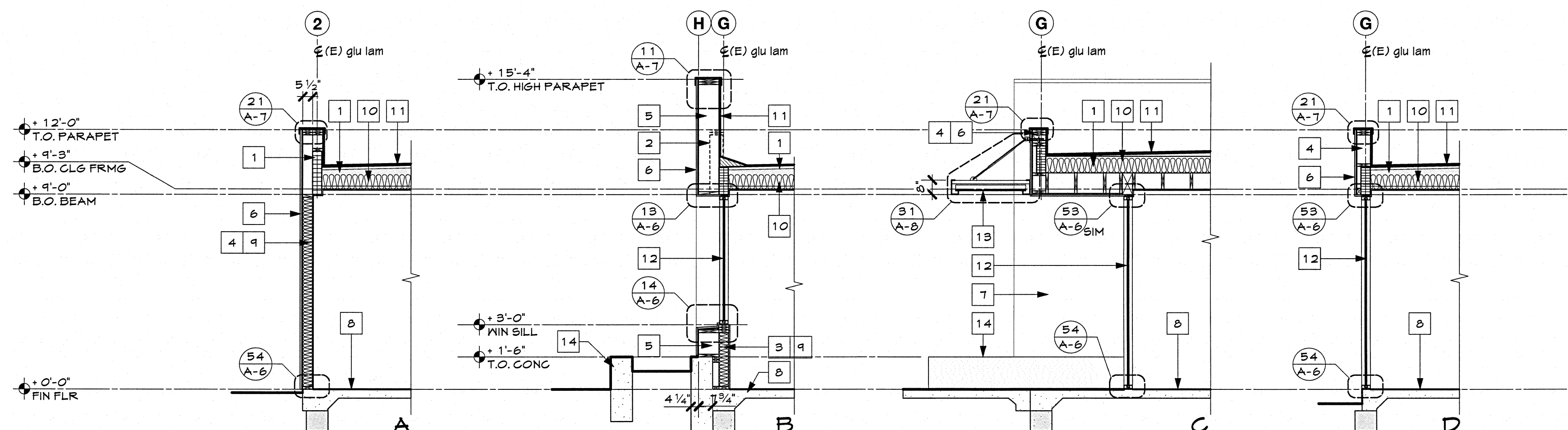
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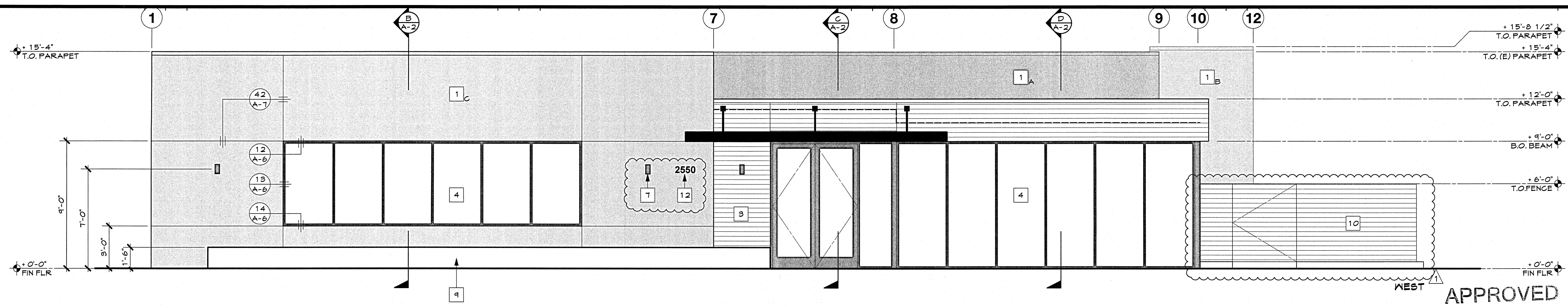
BUILDING DIVISION
CITY OF SAN LUIS OBISPO

SECTION REFERENCE NOTES

1. EXISTING FRAMING, SHOWN GREY
2. EXISTING FRAMING, TO BE REMOVED
3. 2X6 WOOD STUD FRAMING
4. 2X8 WOOD STUD FRAMING
5. 2X12 WOOD STUD FRAMING
6. WOOD COMPOSITE SIDING
7. EXTERIOR PLASTER SIDING
8. CONG FOUNDATION
9. R-19 BATT INSULATION
10. R-30 BATT INSULATION
11. SINGLE-PLY ROOFING
12. ALUMINUM STOREFRONT
13. ALUMINUM CANOPY W/ HANGER RODS, SEE DETAIL 3 1/A-8
14. 12" W CONG BEAT WALL
15. 12" W CONG STEM WALL



WALL SECTIONS
1/4" = 1' - 0"



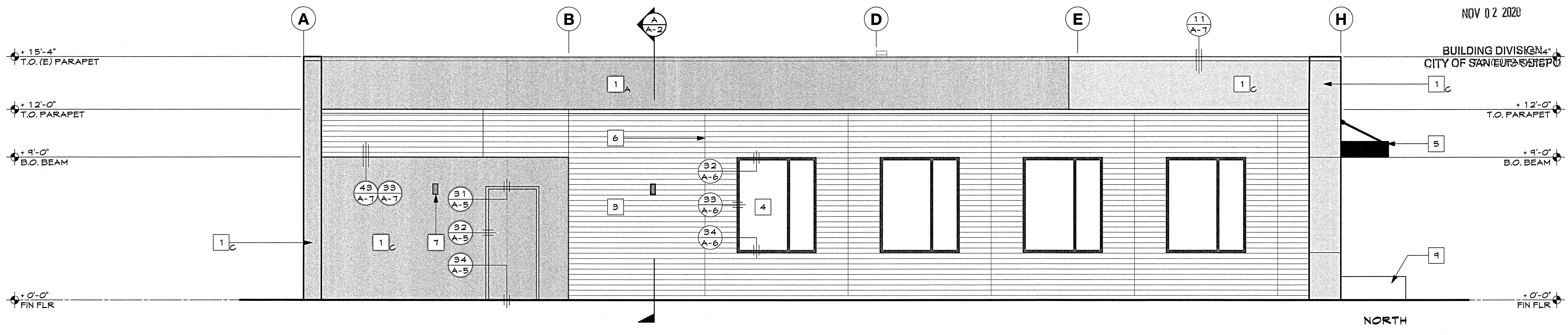
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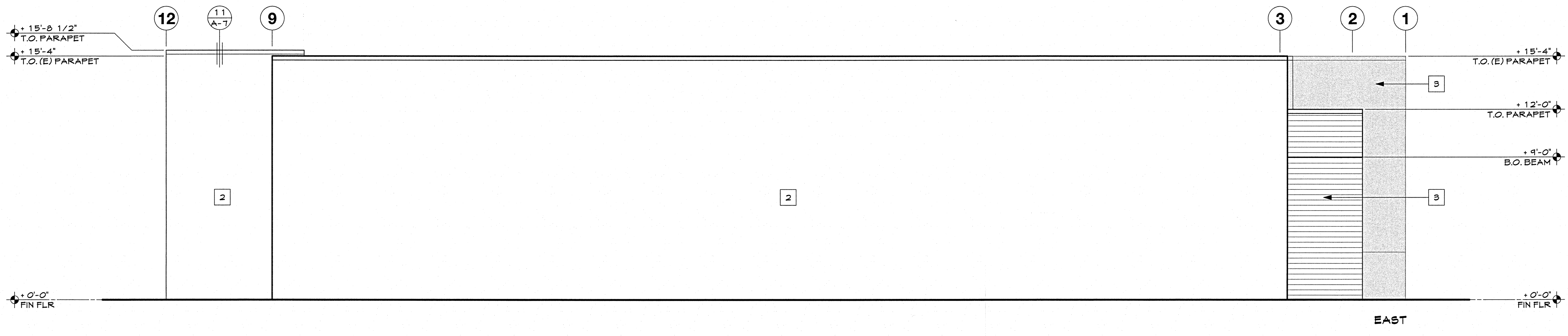
BUILDING DIVISION
CITY OF SAN LUIS OBISPO

ELEVATION REFERENCE NOTES

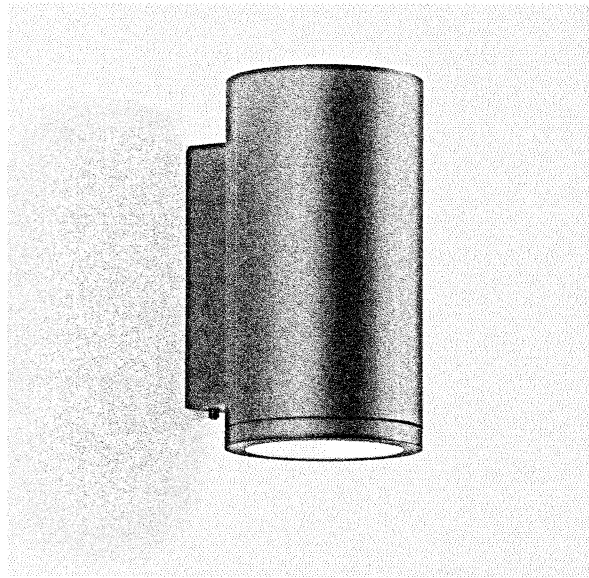
1. A EXTERIOR PLASTER - EXISTING, PAINTED
B EXTERIOR PLASTER - SKIM COAT OVER EXISTING CMU
C EXTERIOR PLASTER - NEW 3-COAT 1/8" STUCCO
2. EXISTING PAINTED CMU TO REMAIN
3. WOOD COMPOSITE SIDING
4. ALUMINUM STOREFRONT DOOR/WINDOW FRAMES, SEE SHEET A-6
5. ALUMINUM CANOPY W/ HANGER RODS, SEE 54/A-7
6. VERTICAL SIDING JOINT
7. WALL-MOUNTED LIGHT FIXTURE, SEE 52/A-3
8. ALUMINUM ADDRESS NUMBERS, MIN 6" HIGH
9. RAISED CONCRETE PLANTER
10. 1x6 IPE WOOD FENCE BOARDS
11. TRASH ENCLOSURE WOOD FENCE SHOWN DASHED FOR CLARITY
12. CONTRASTING ADDRESS NUMBERS, MIN 5" HIGH W/ MIN STROKE WIDTH OF .5 INCHES.



NORTH



EAST



Outdoor LED Wall Light
(BEGA 66 698, or approved eq)
- Down-facing wall-wash
- Dark Sky compliant

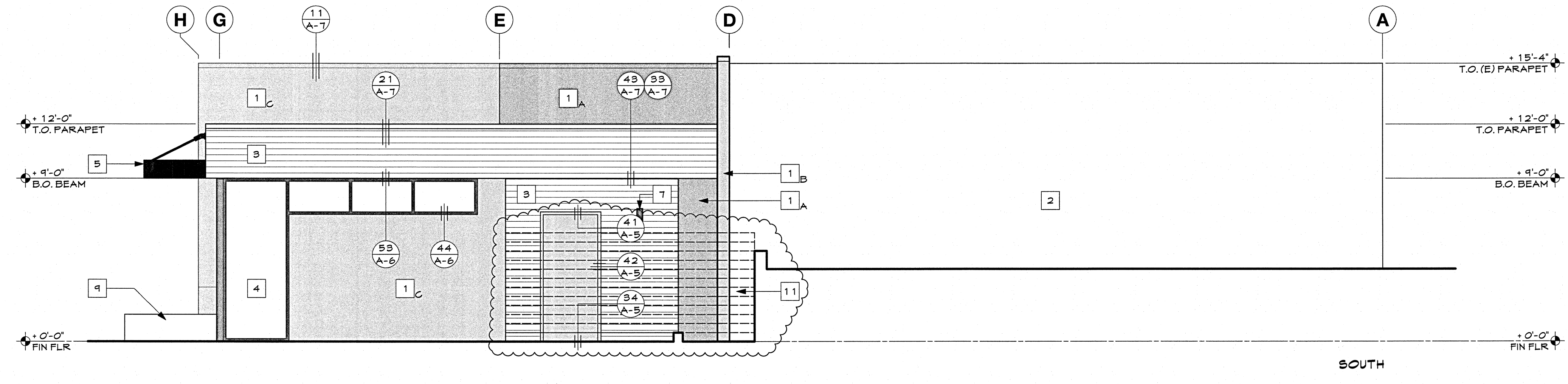
52 EXTERIOR WALL LIGHT
NO SCALE

COLOR SCHEDULE

SYMBOL	MATERIAL	COLOR	TYPE	MANUF
[Shaded Box]	EXTERIOR PLASTER 1 (TEXTURED FINISH)	BUNGLEHOUSE GRAY 2845	PAINT	SHERWIN WILLIAMS
[Lighter Shaded Box]	EXTERIOR PLASTER 2 (SMOOTH FINISH)	GARDEN SAGE 7136	PAINT	SHERWIN WILLIAMS
[Horizontal Lines]	NICHIHA WOOD COMPOSITE SIDING	BARK	FACTORY	NICHIHA
[Black Box]	ALUMINUM CANOPY W/ HANGER RODS	BLACK	FACTORY	MASA ARCHITECTURAL CANOPIES
[White Box]	ALUMINUM STOREFRONT	BLACK	FACTORY	KANNEER
[Dotted Box]	METAL DOORS & FRAMES	MATCH ADJACENT SIDING	PAINT	SHERWIN WILLIAMS

EXTERIOR ELEVATIONS

1/4" = 1' - 0"



SOUTH

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Project:

EXTERIOR RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

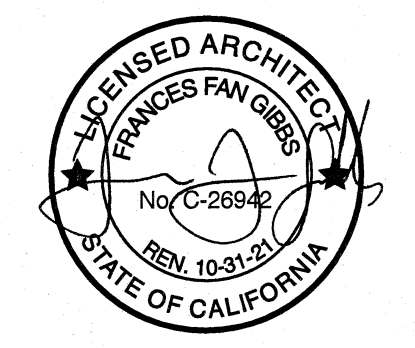
Client:

SLO Q

815 FIERO LANE
SAN LUIS OBISPO
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(805) 543 - 0561

Sheet Contents:

EXTERIOR ELEVATIONS

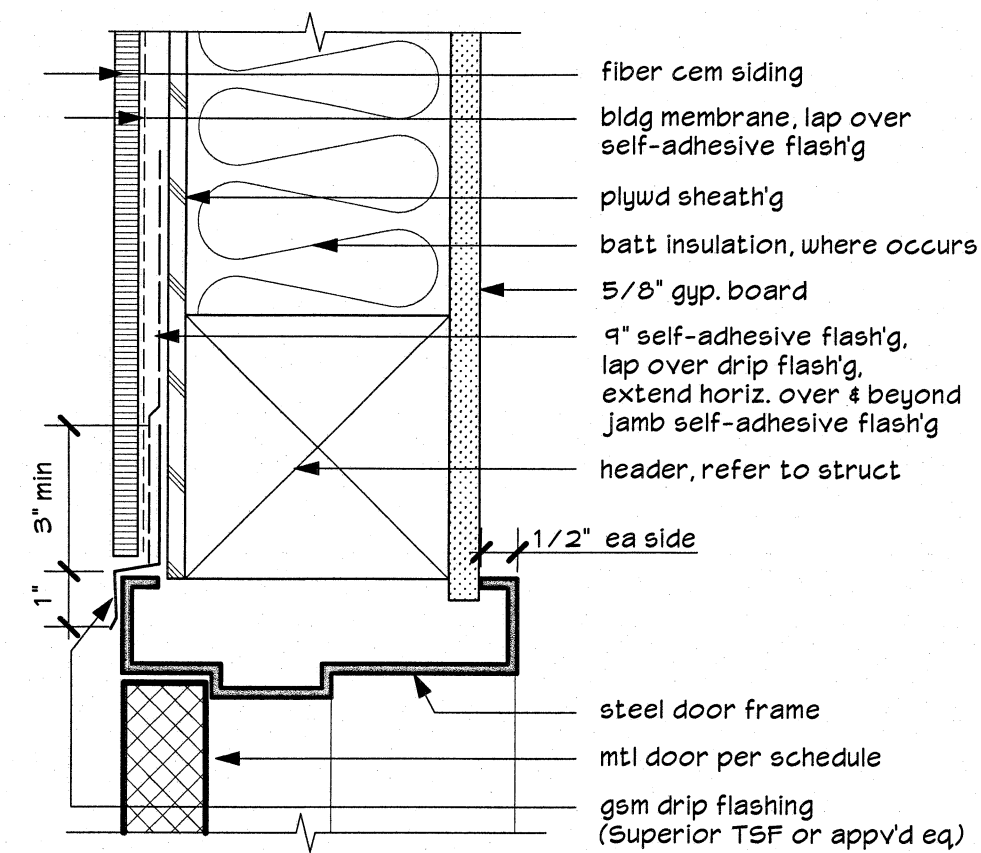


Date: 17 FEB 2020

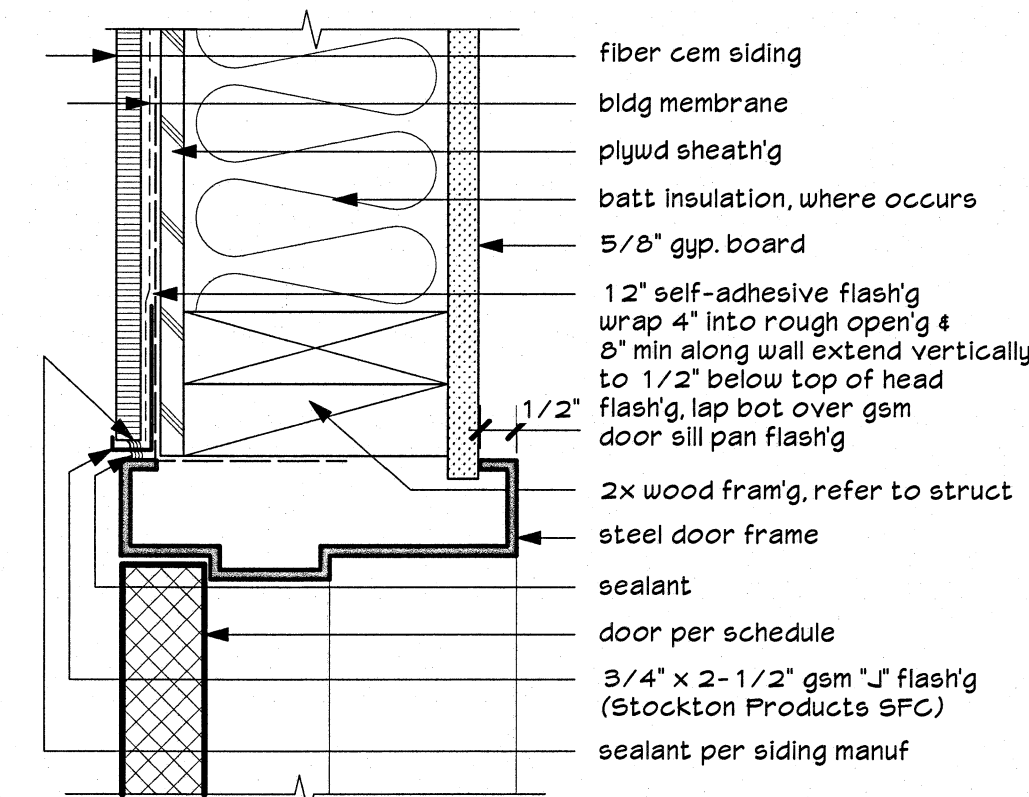
Revised: 1, 21 JULY 2020 PC#1

Job No: 1946

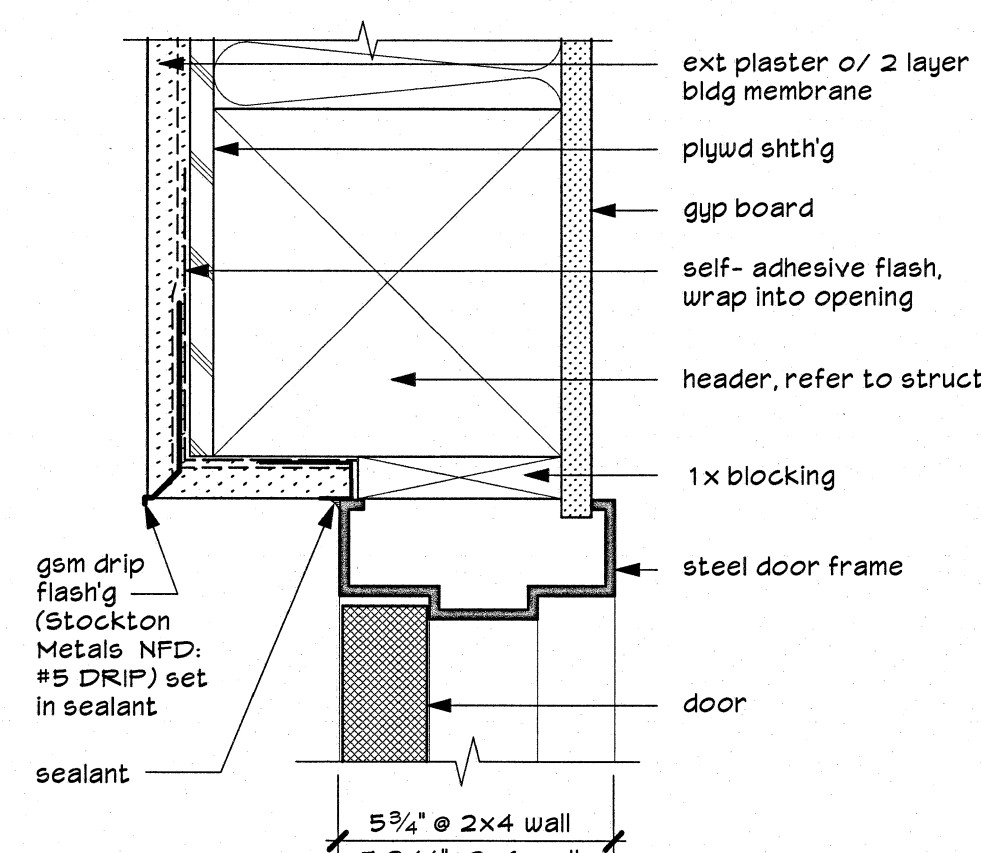
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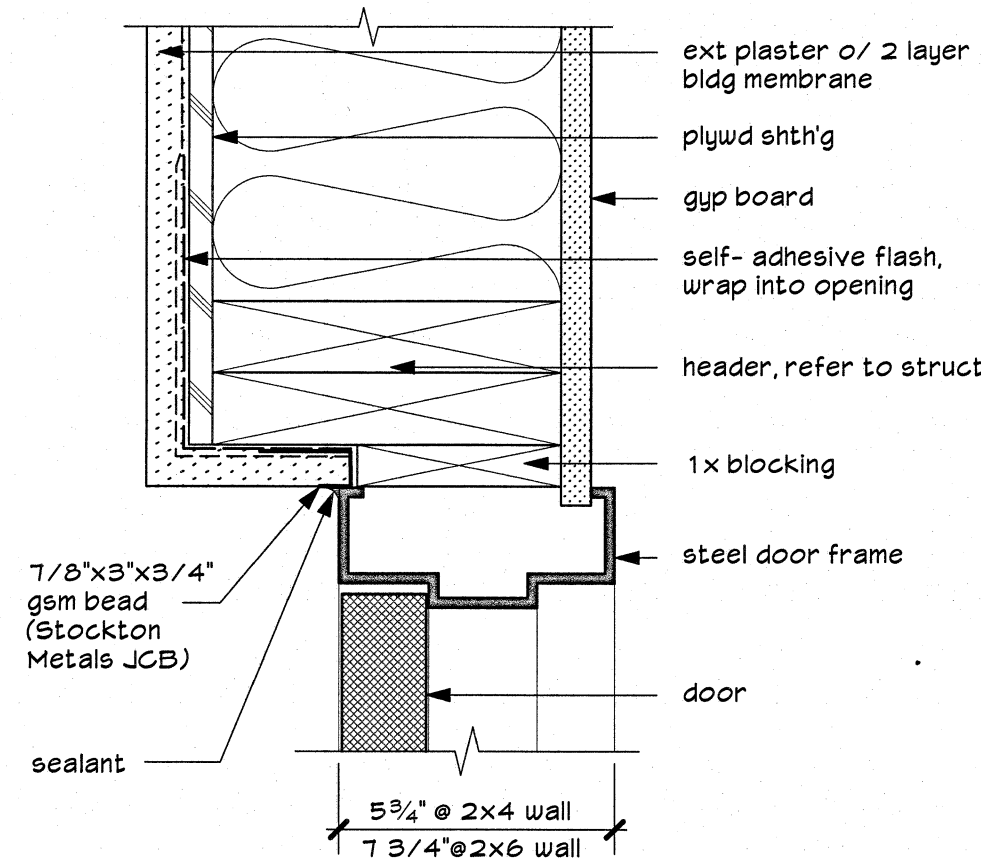
41 HEAD @ SIDING
3"



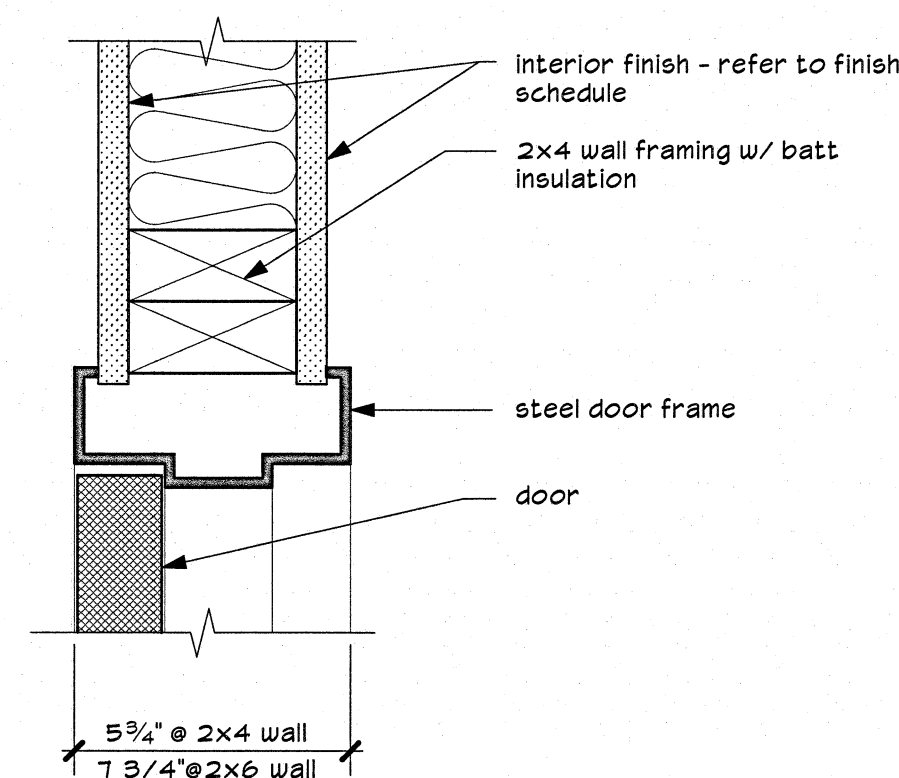
42 JAMB @ SIDING
3"



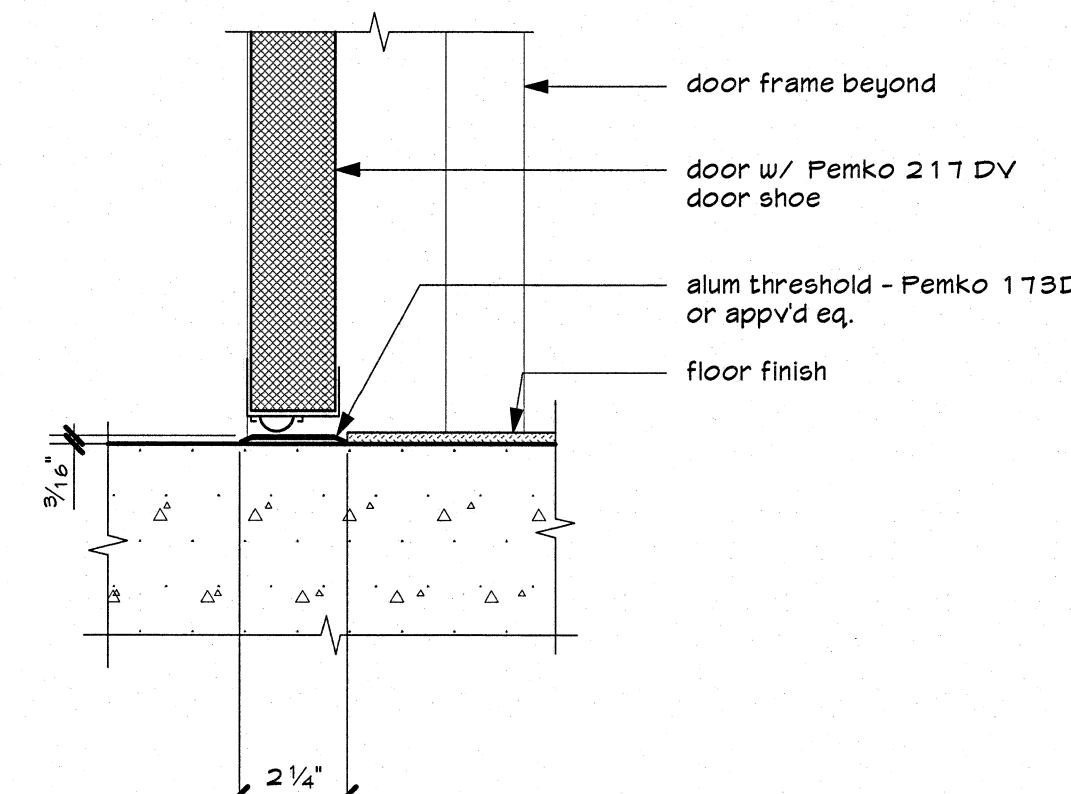
31 HEAD @ STUCCO
3"



32 JAMB @ STUCCO
3"



33 HEAD JAMB, SIM
3"



34 THRESHOLD
3"

DOOR SCHEDULE

NO	TYPE	FRAME TYPE	DIMENSION			LOCKSET	NAMEPLATE	REMARKS
			WIDTH	HEIGHT	THK			
1	A	AL-3	PR 3'-0"	9'-0"	1-3/4"	L6		NOTE # 10
2	C	FS-1	3'-0"	7'-0"	1-3/4"	L4		
3	C	FS-1	3'-0"	7'-0"	1-3/4"	L4		
4	B	EXIST	3'-0"	-	-	(E)L4		
5	B	EXIST	3'-0"	-	-	(E)L2		
6	B	EXIST	3'-0"	-	-	(E)L2	ALL GENDER	
7	B	EXIST	3'-0"	-	-	(E)L4	ALL GENDER	
8	B	EXIST	3'-0"	-	-	(E)L4		

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NOV 02 2020

BUILDING DIVISION
CITY OF SAN LUIS OBISPO

DOOR NOTES

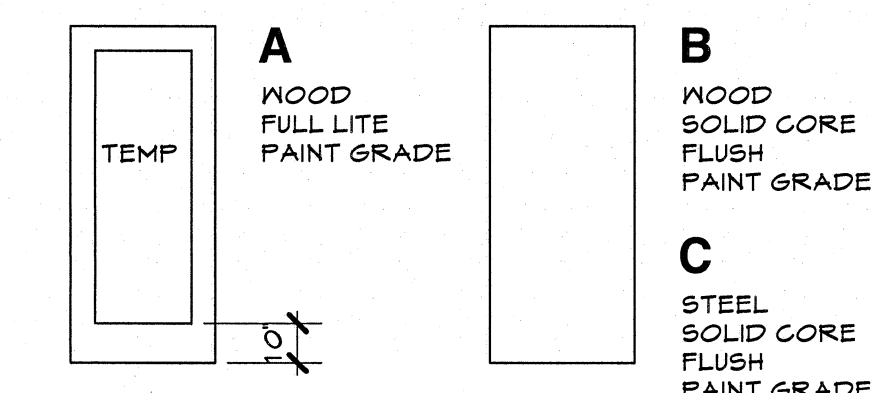
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SURVEY ALL EXISTING DOORS FOR COMPLIANCE WITH NOTES BELOW AND MODIFY AS NECESSARY FOR COMPLIANCE.

- Locksets:
L1 _____ Passage (ND10S) L4 _____ Storeroom (ND&OPD) L7 _____ Ball Catch
L2 _____ Privacy (ND40S) L5 _____ Panic Bar
L3 _____ Office (ND50PD) L6 _____ Push/Pull Handles

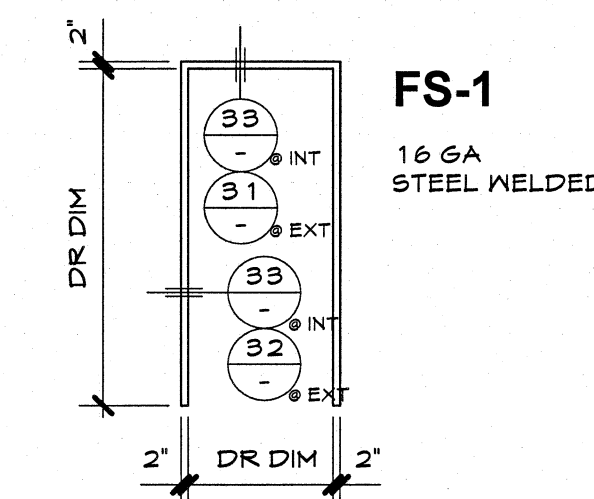
All latches/locks shall be lever type Schlage Sparta style, with 626 finish (satin chrome plated), function type per schedule. All hardware shall be 3/4" min and 44" max AFF and operable from inside without the use of a key, special knowledge or effort, and shall be operable without tight grasping, tight pinching, or twisting of the wrist. Doors listed with existing hardware to remain shall be lever type and shall meet these conditions.

- All doors shall be minimum 3'-0" wide by 6'-8" tall, unco. Hinged doors shall open to min 90° from its closed position, and shall have min 32" net clear width in that 90° position. At a pair of doors, at least one leaf shall have a min 32" net clear width when opened to an angle of 90° from its closed position.
- Wood doors with new Push/Pull Handles shall be provided with stainless steel, brushed finish push/pull plates with rounded corners. Doors with kickplates shall be provided with 1'0" high x full door width stainless steel, brushed finish kickplates with rounded corners on both sides of doors.
- Opening Force: the maximum effort to operate doors cannot exceed 5 pounds for interior and exterior doors, and 15 pounds for required fire rated doors.
- Automatic Closers: Doors and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.
- Floor or landing shall not be lower than 1/2" below top of door threshold. Changes from level shall not exceed 1/4" vertical. Changes in level between 1/4" and 1/2" shall be beveled with a max slope of 1 unit vertical to 2 units horizontal. Replace any existing thresholds that do not meet these requirements.
- All wood doors shall be of solid core construction, stain grade. Provide silencers in door frames.
- All doors shall have stops; HAGER 241F floor dome or HAGER 255S wall stop, per field condition. Door stops shall not be located in the path of travel or beyond 4" maximum from walls. Doors scheduled to have hold open shall be HAGER 270D with US26D finish.
- Doors required by schedule shall have the following sign located adjacent to door in a readily visible location: the "International Symbol of Accessibility". Refer to Accessibility Signage Notes, Sit A-4 for additional requirements.
- Doors required by schedule shall have the following sign in 1" high lettering on contrasting background over the door: "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED"
- Signage: Doors with name plates shall be provided with signs per detail 4.1/A-4. Refer to Mounting Height Schedule on Sit. A-4 for additional signage requirements at restrooms.

DOOR TYPES



DOOR FRAME TYPES



FINISH NOTES

- Provide 5/8" gypsum wallboard at all new framed walls, u.n.o. If new wall location is an extension of an existing wall plane, use matching gypsum wallboard as existing for flush finish.
- Provide 48" high Fiberglass Reinforced Plastic finish over 5/8" moisture resistant gypsum wallboard at all new walls in toilet room or lavatory locations.
- Provide 6" high coved sheet vinyl base in all new toilet rooms, mop room and eye wash alcove.
- Provide 4" high rubber top set base at all new wall locations to match existing.
- Replace acoustic ceiling tiles as necessary in areas of remodel with like panels.
- All existing floor finishes to remain

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Project:

EXTERIOR RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

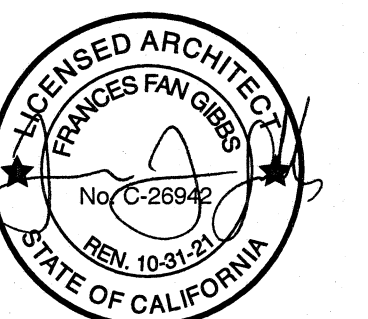
Client:

SLO Q

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SAN LUIS OBISPO
CA 93401
(805) 543 - 0561

Sheet Contents:

DOOR SCHEDULE & DOOR DETAILS



Date: 17 APR 2020

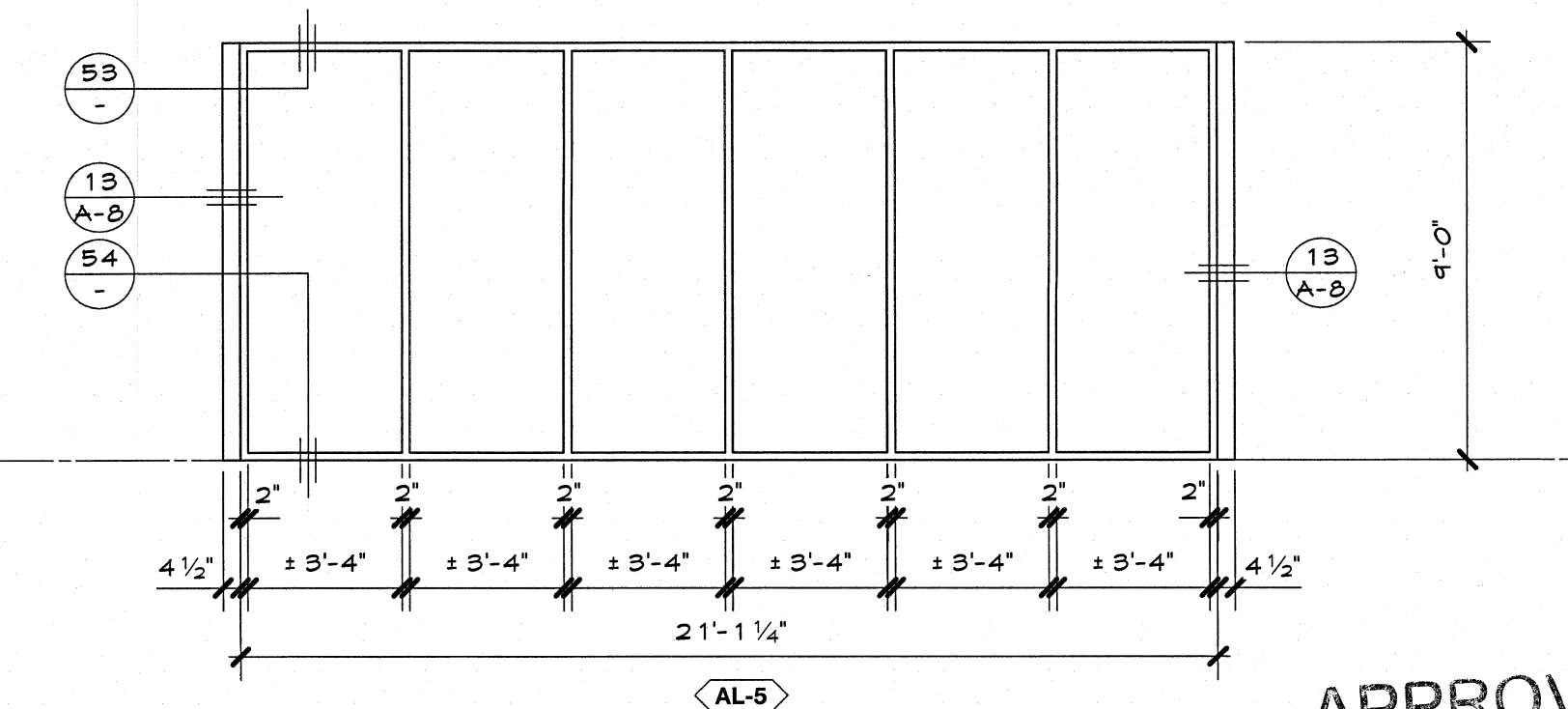
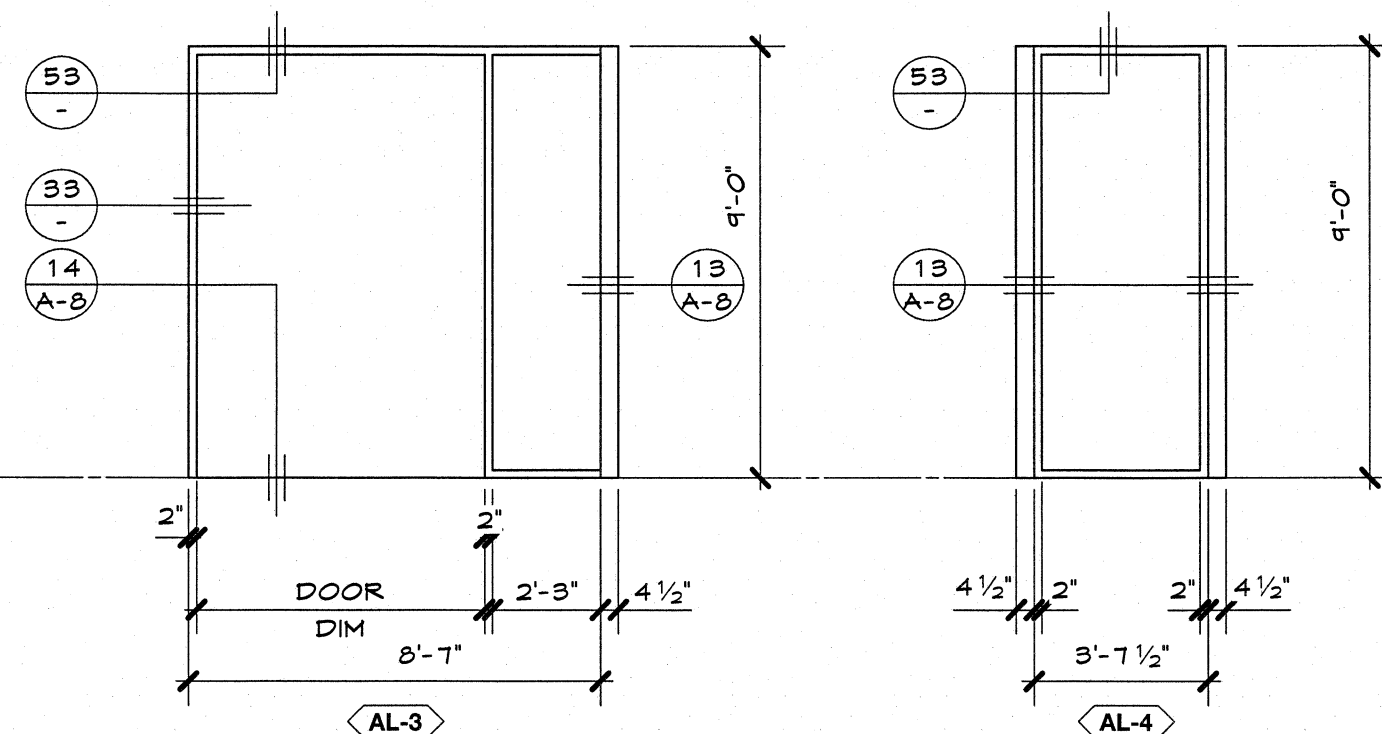
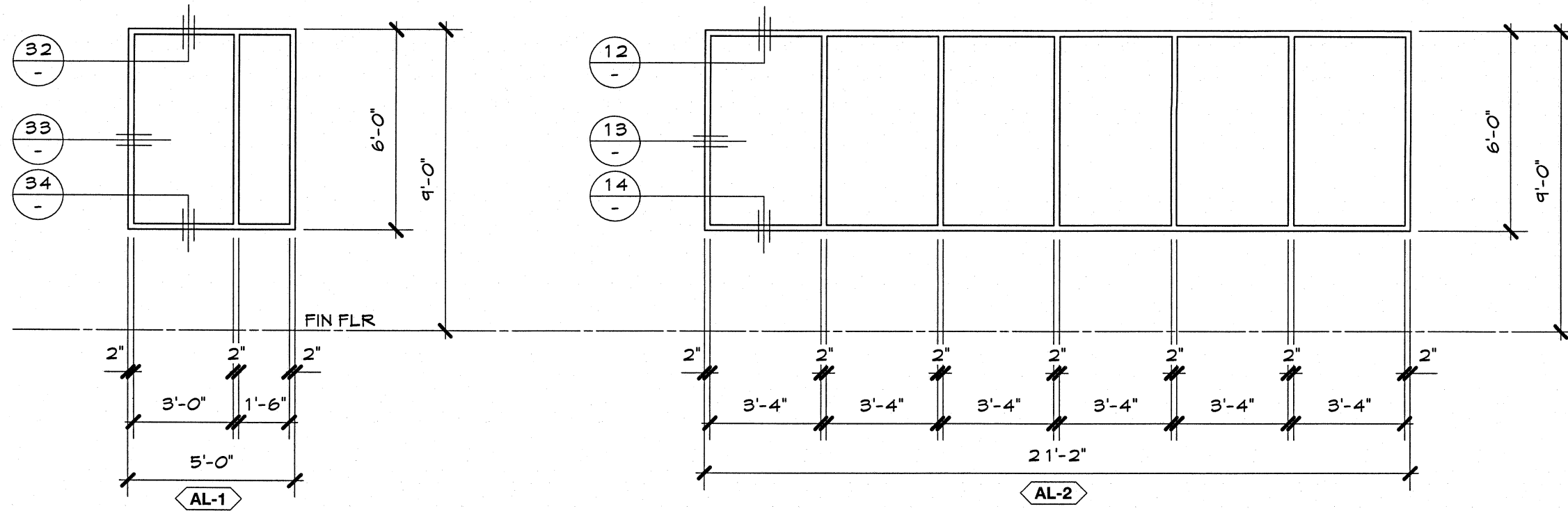
Revised:

Job No:

1946

Sheet:

A - 5



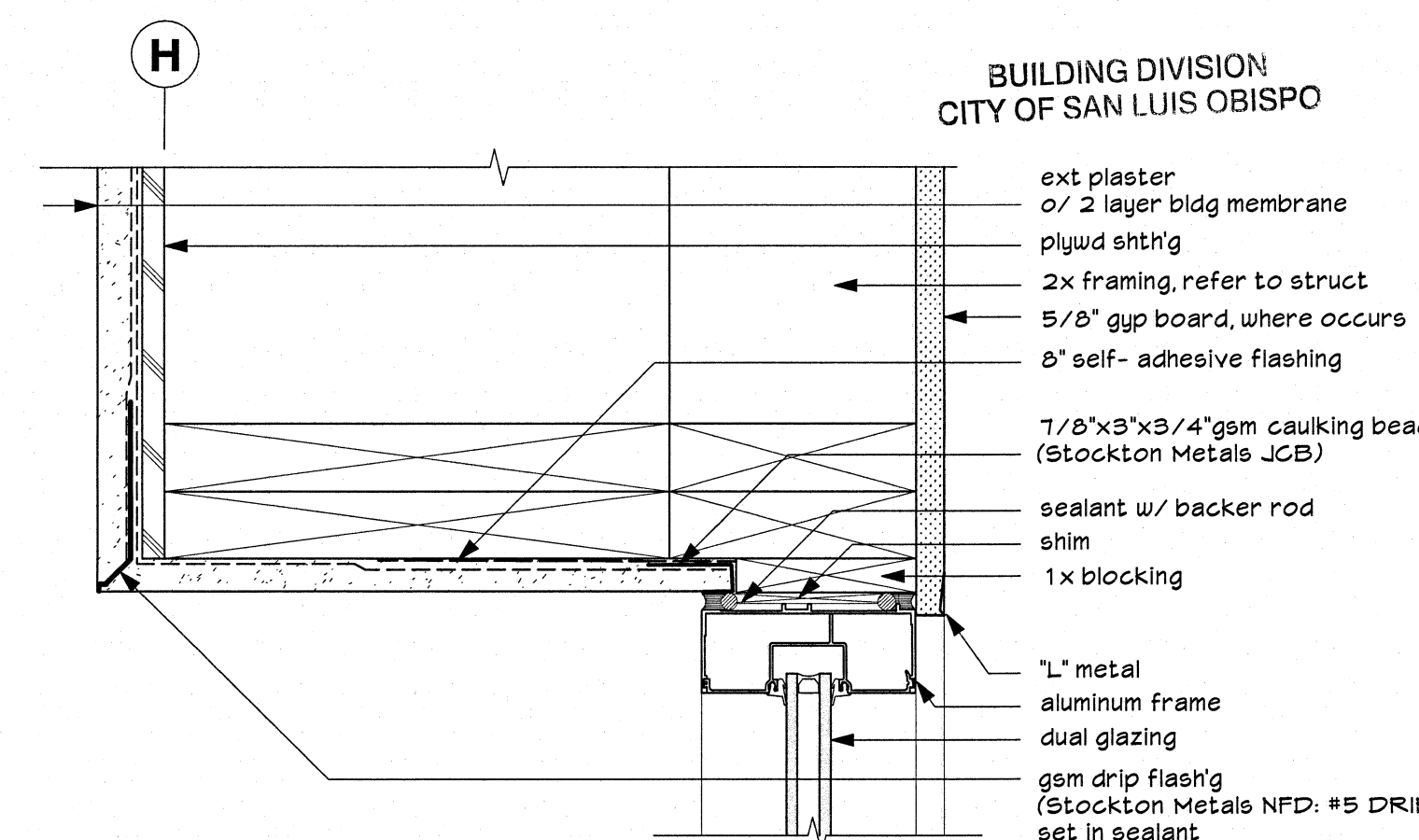
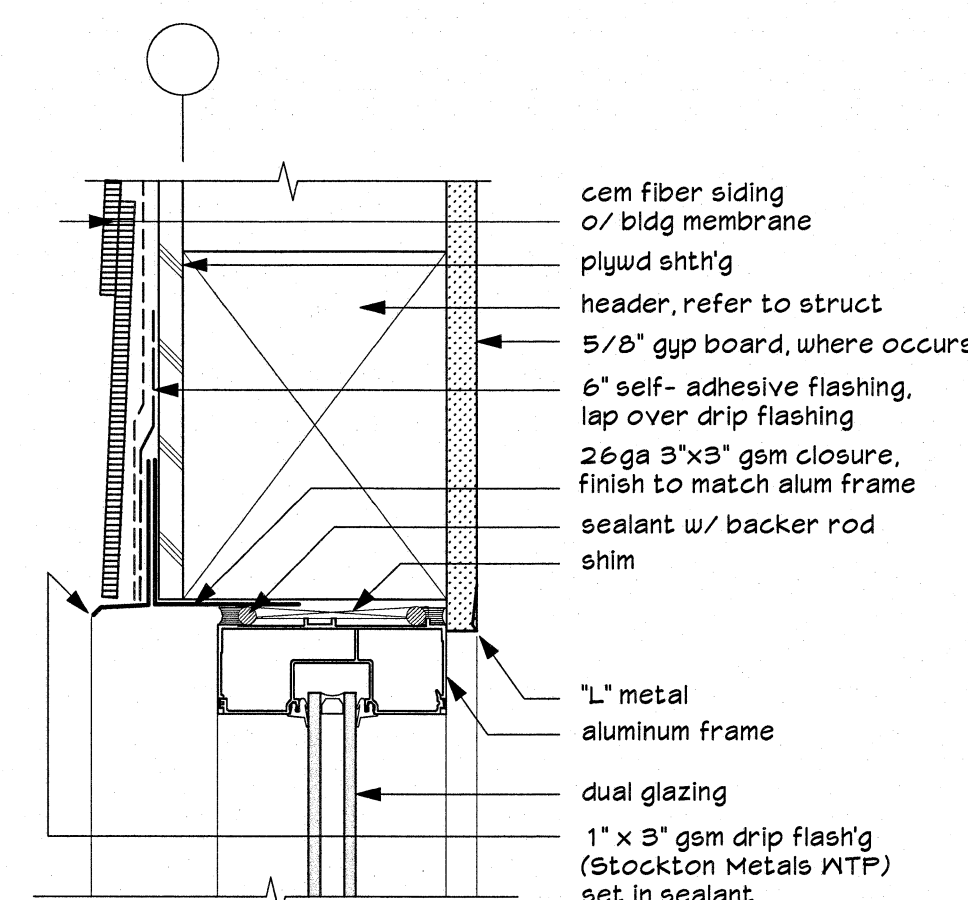
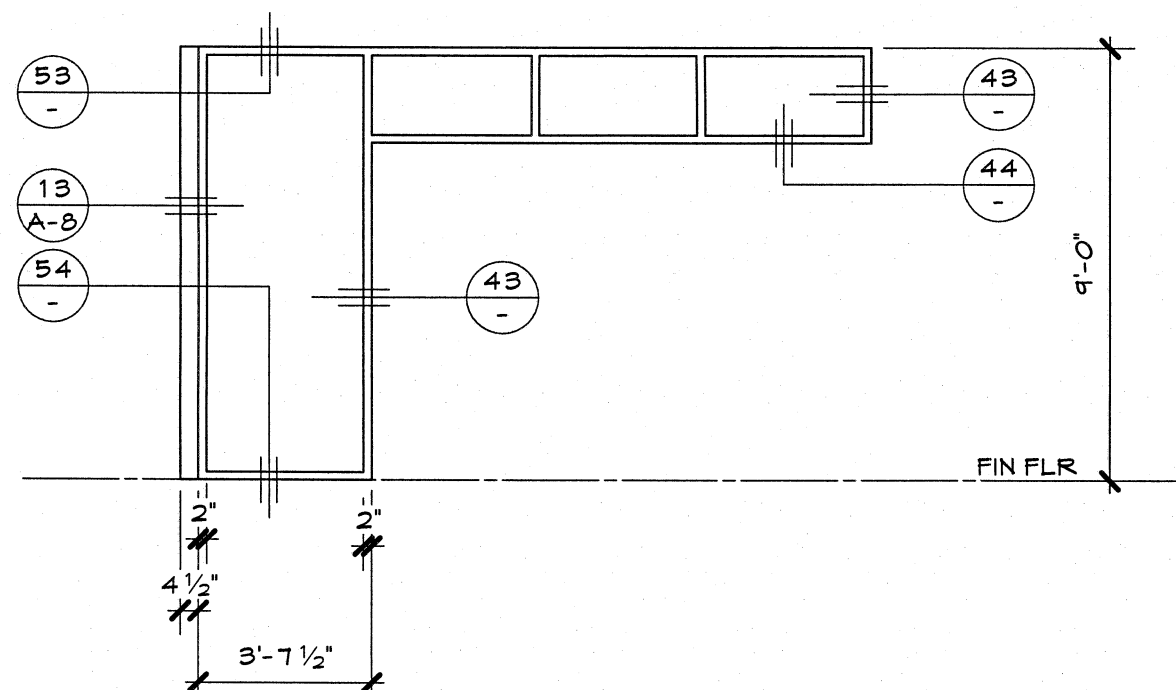
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ALUMINUM FRAME NOTES

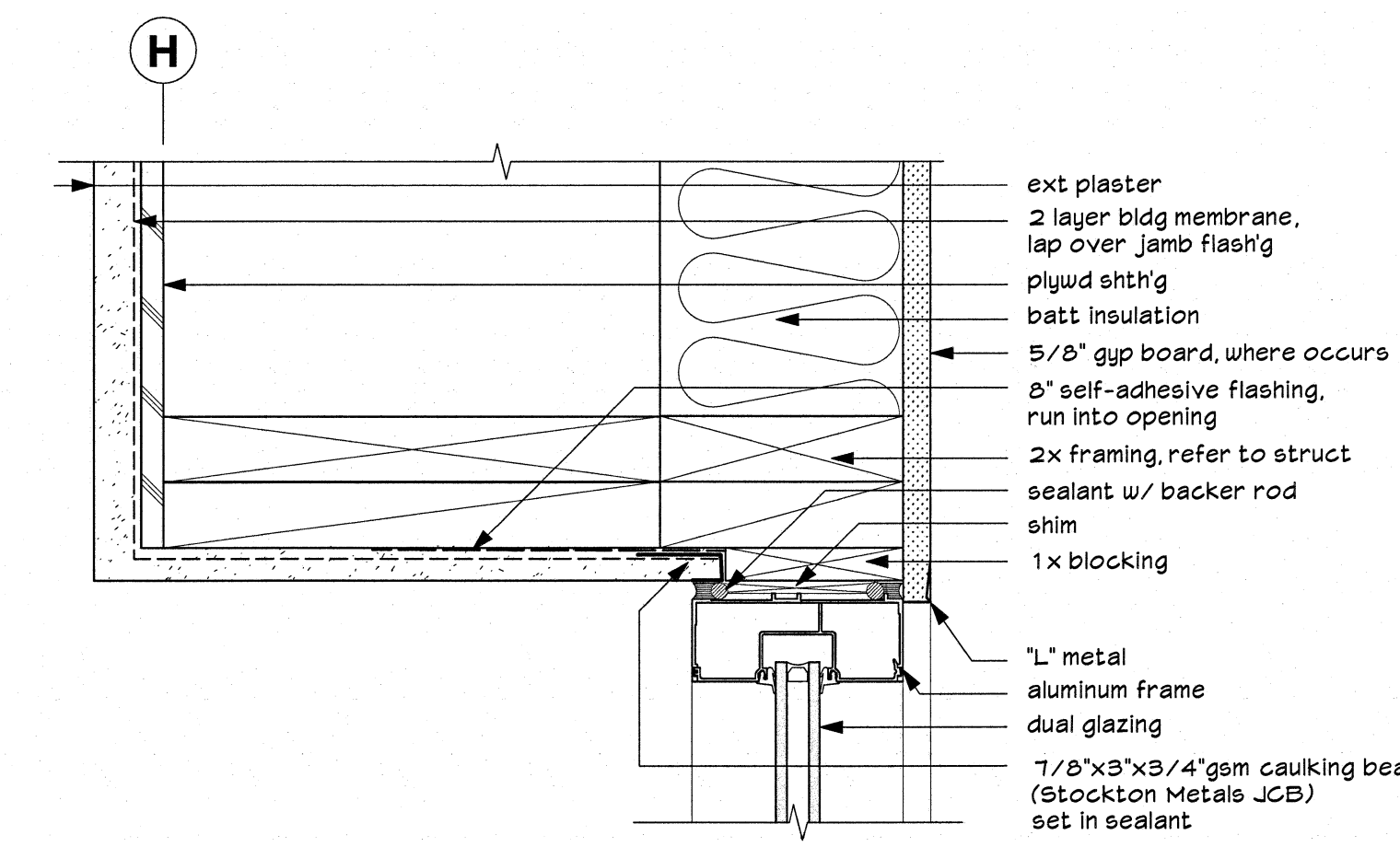
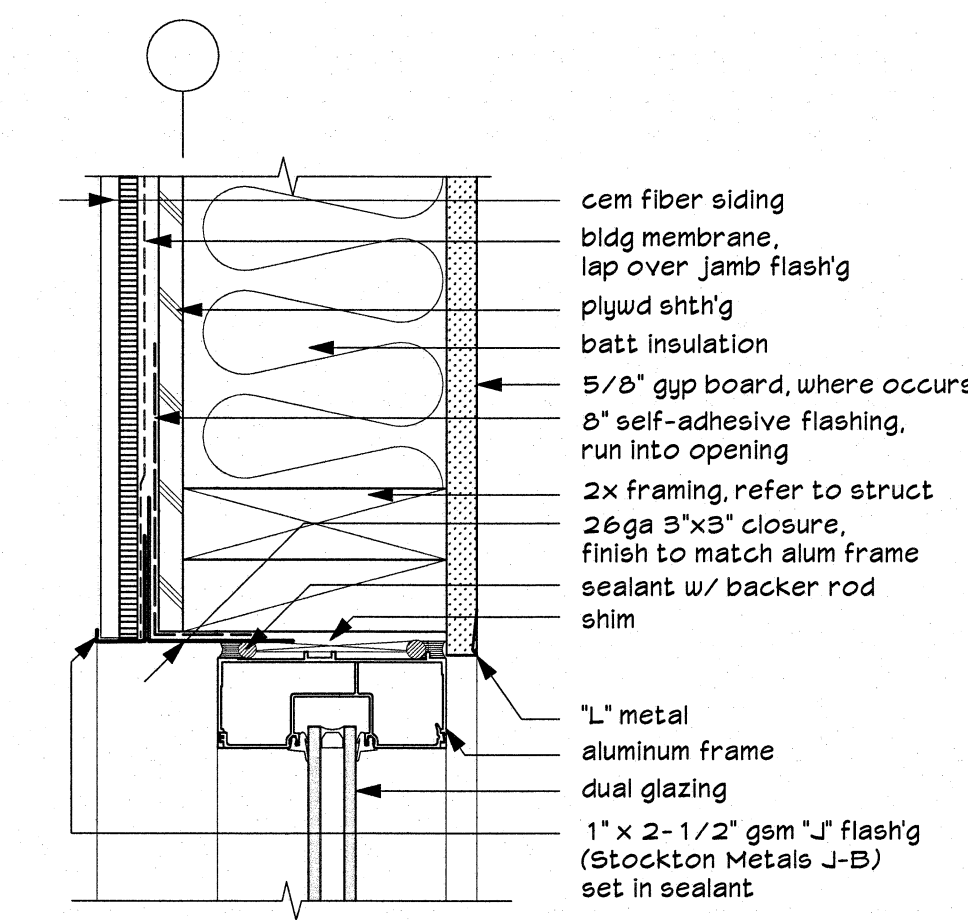
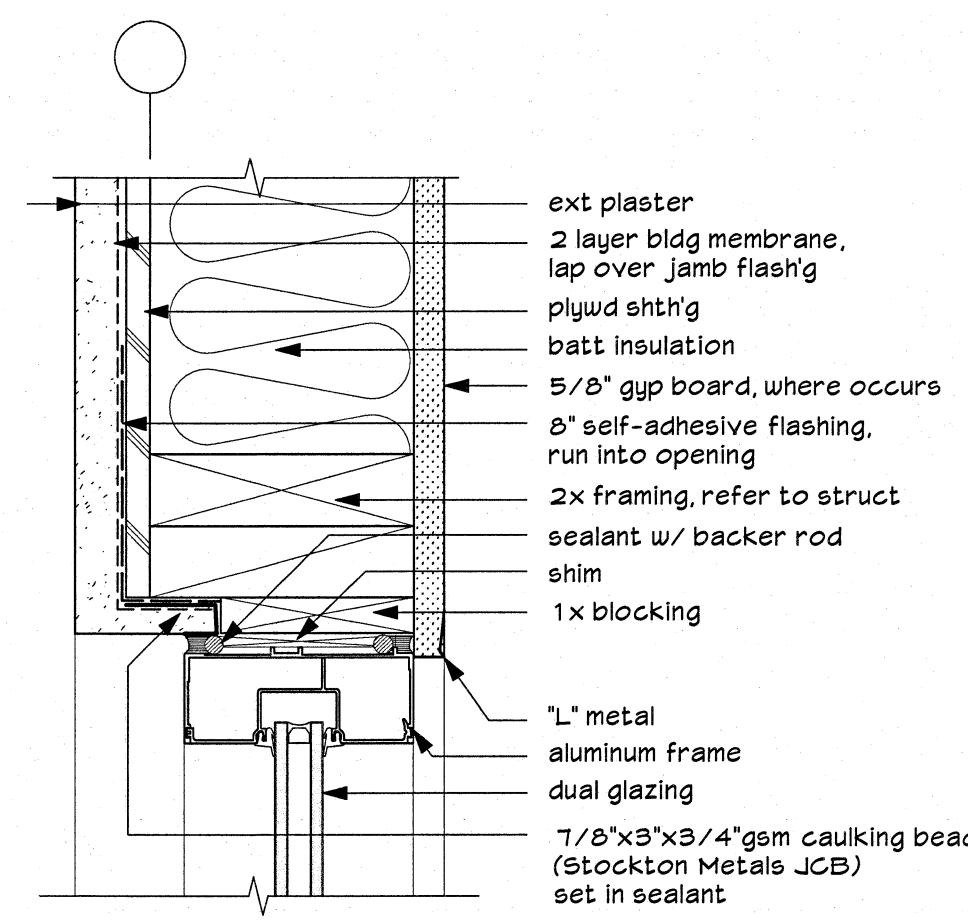
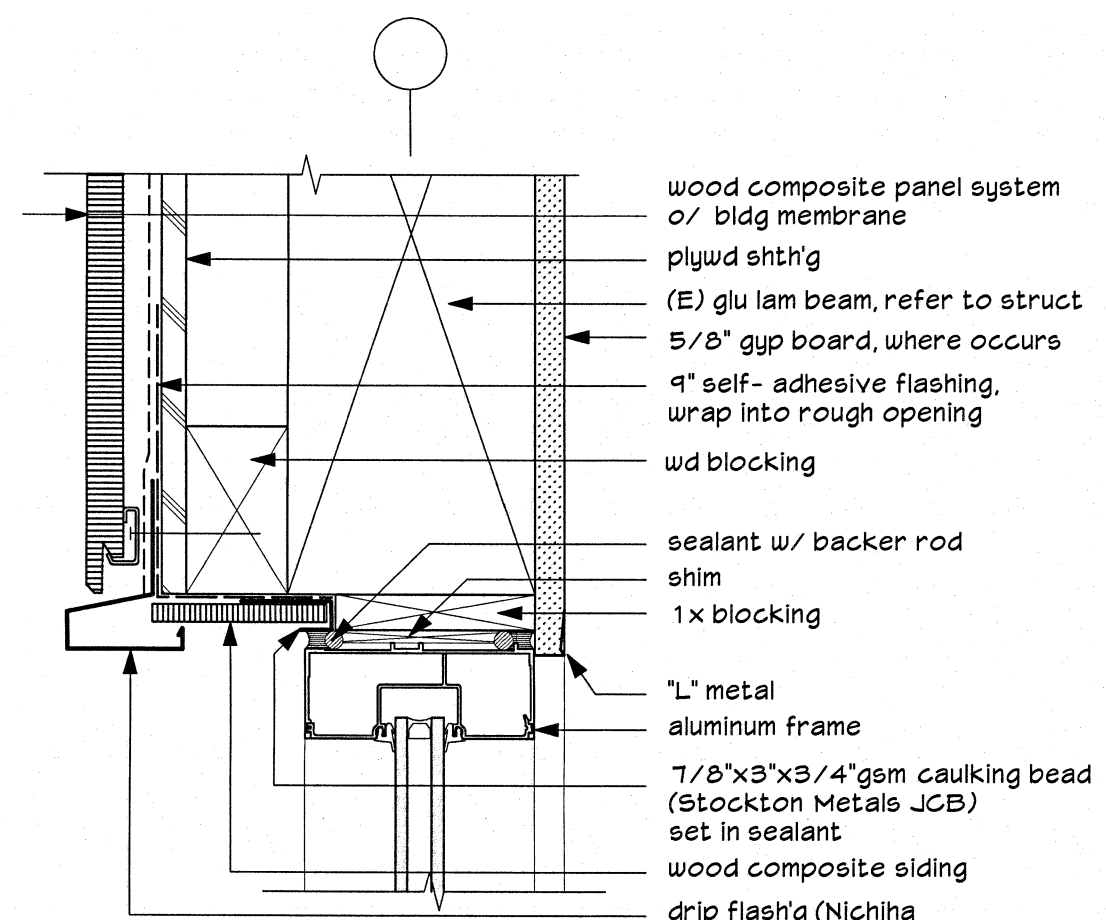
1. Verify all dimensions in field prior to fabrication. Any major discrepancy shall be brought to the attention of the Architect.
2. All dimensions shown are frame dimensions. Contractor to coordinate finish 4 shim space req'd with field conditions.
3. All exterior aluminum frames shall be Kauneer Trifab V6451 Series, 2" X 4 1/2" center, 1" dual glazing system.
4. COLOR: All frames shall be Kauneer, black
5. All exterior glazing shall be 1" PPG SBTOXL with U-Factor 0.45, SHGC 0.30 4 VT 0.55, reflective coating on the #2 surface. Bronze spacer.
6. All sill pans to be .063 Alum with finish to match frames. All pans to be set in sealant bed.



52 ALUMINUM FRAMES
1/4" = 1' - 0"

32 HEAD @ SIDING
3"

12 HEAD
3"

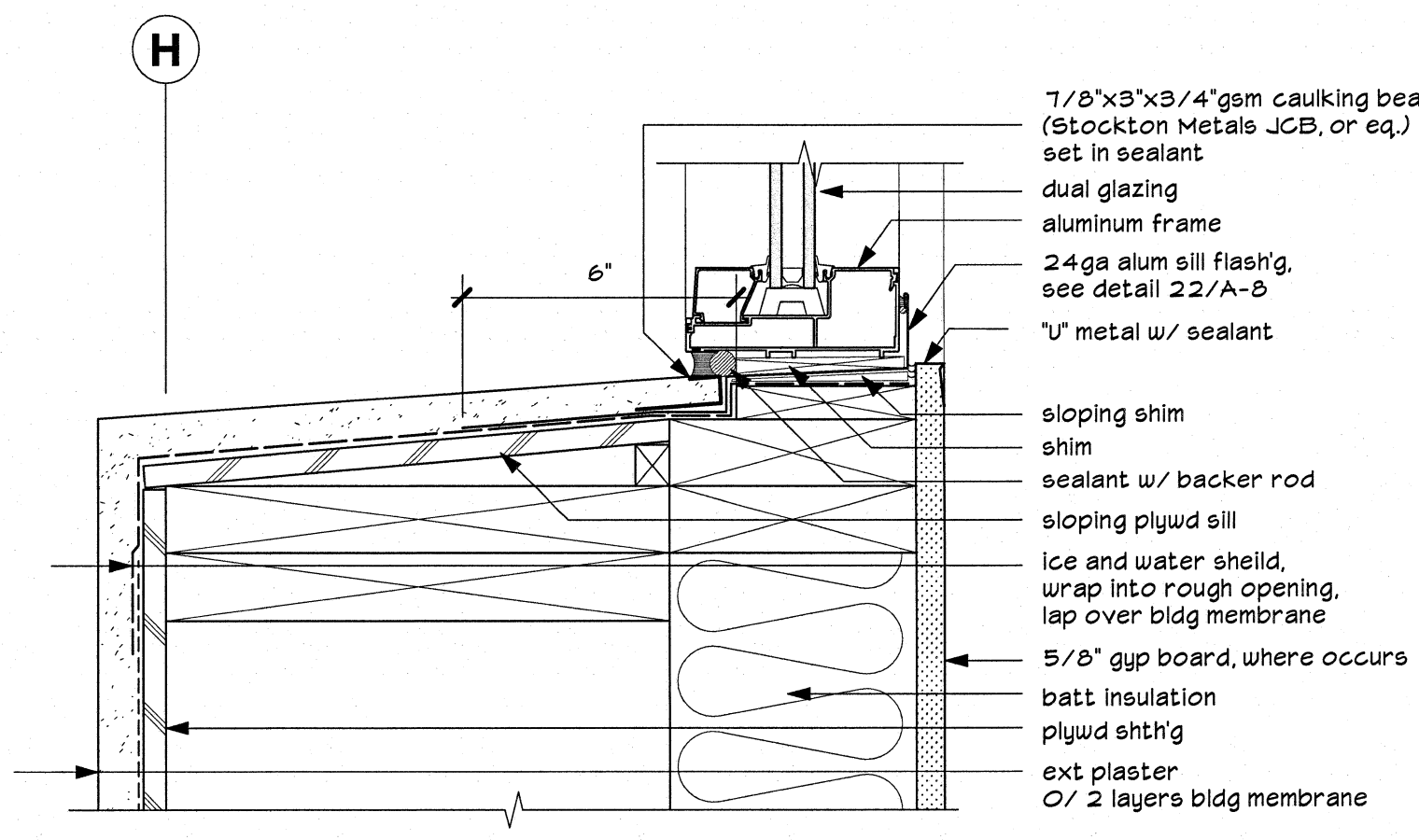
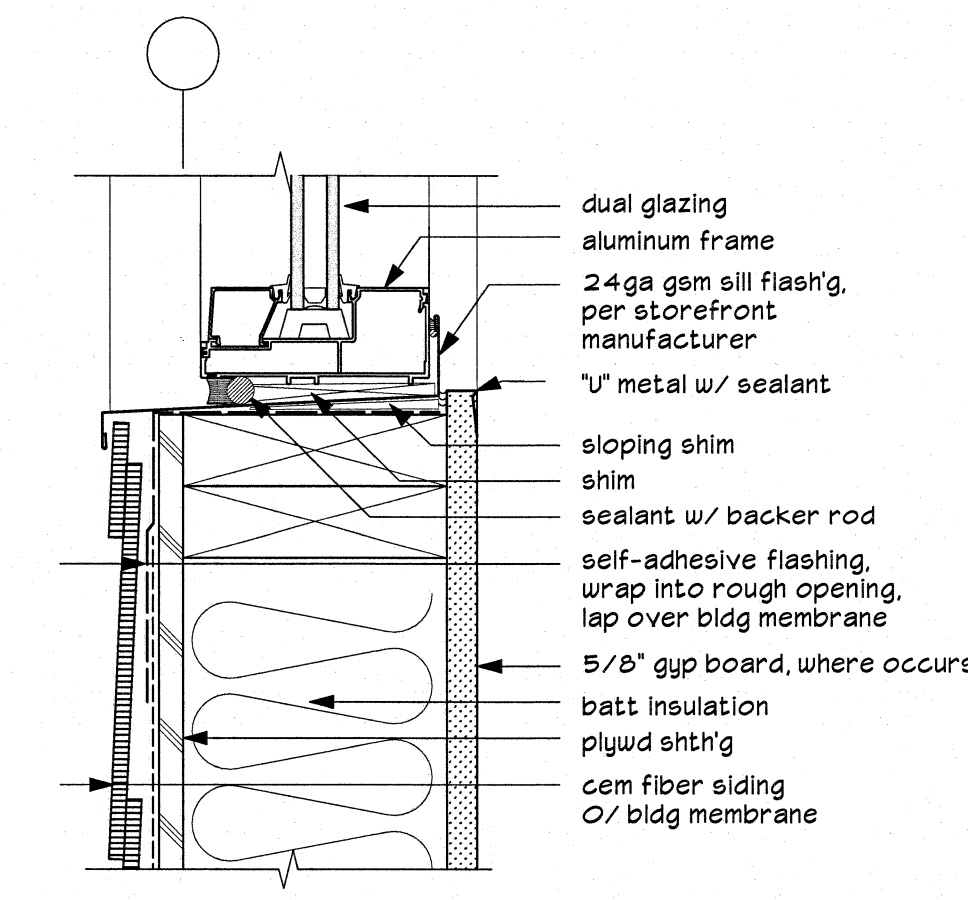
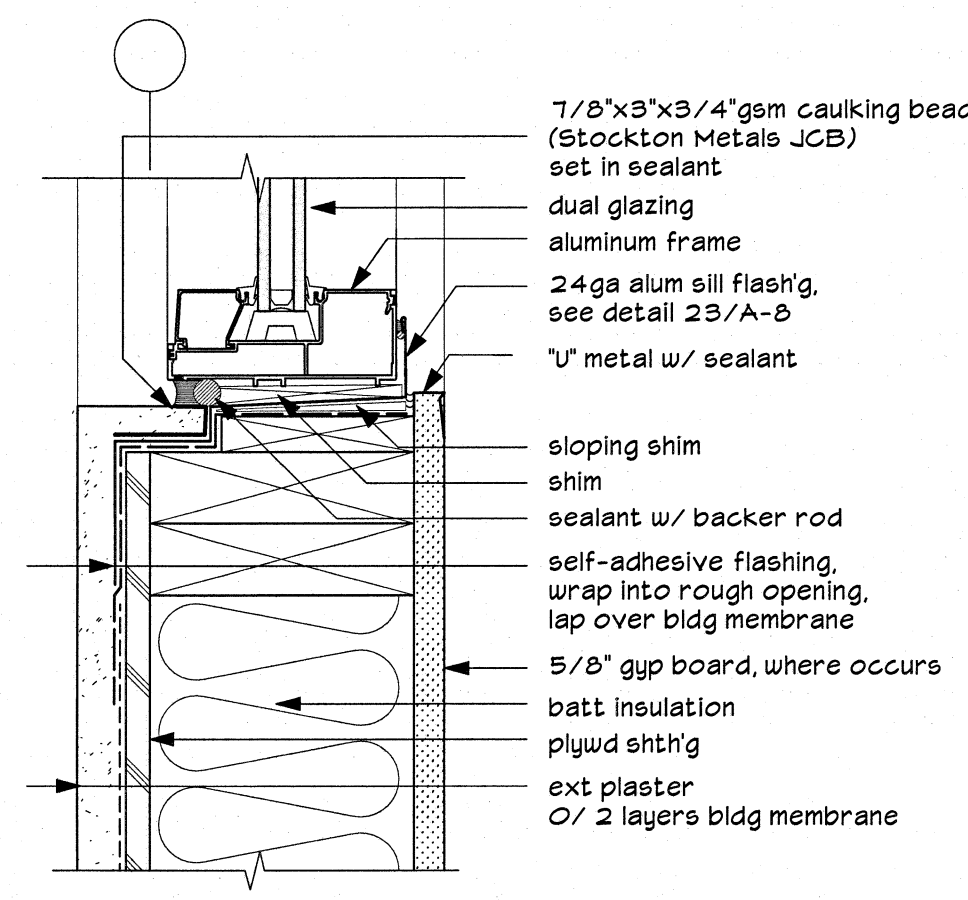
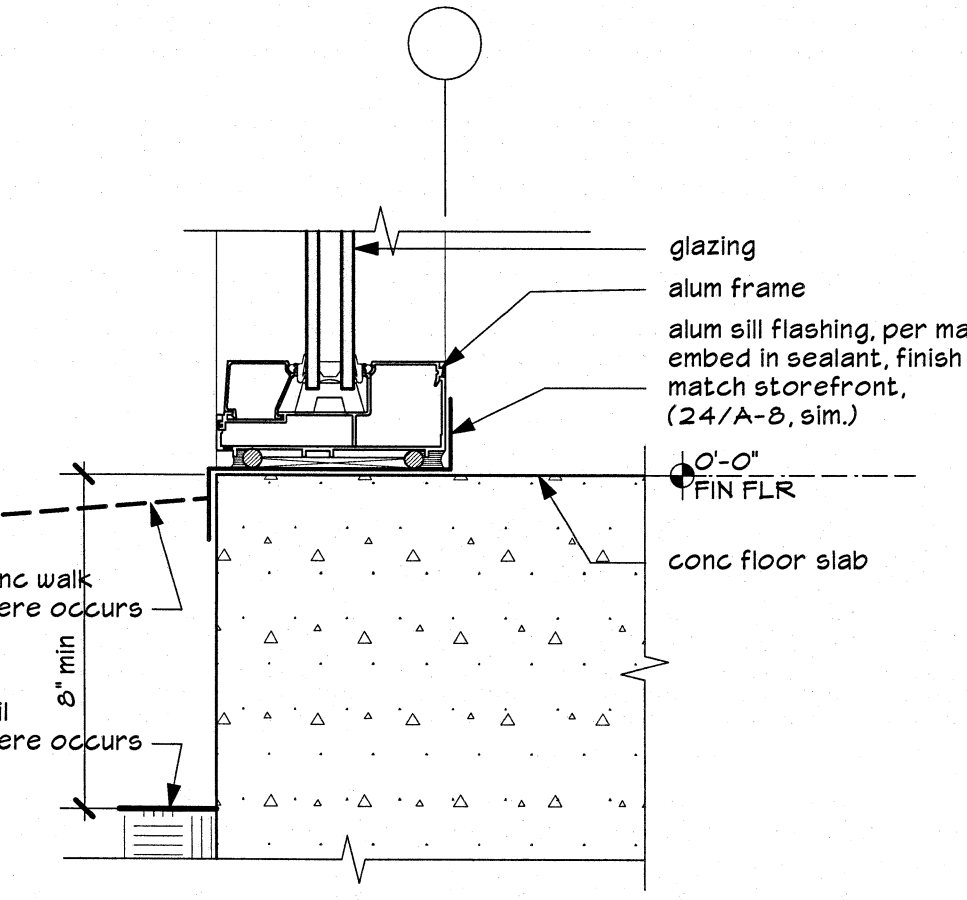


53 HEAD
3"

43 JAMB @ STUCCO
3"

33 JAMB @ SIDING
3"

13 JAMB
3"



54 SILL @ CONC
3"

44 SILL @ STUCCO
3"

34 SILL @ SIDING
3"

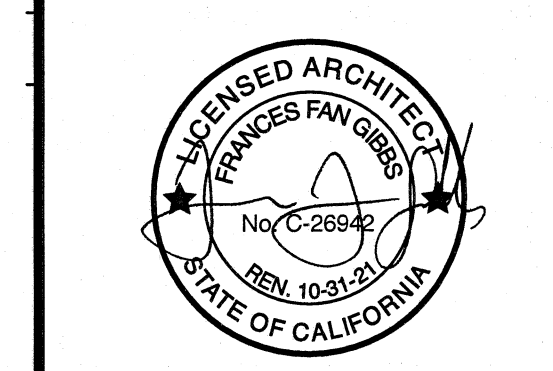
14 SILL
3"

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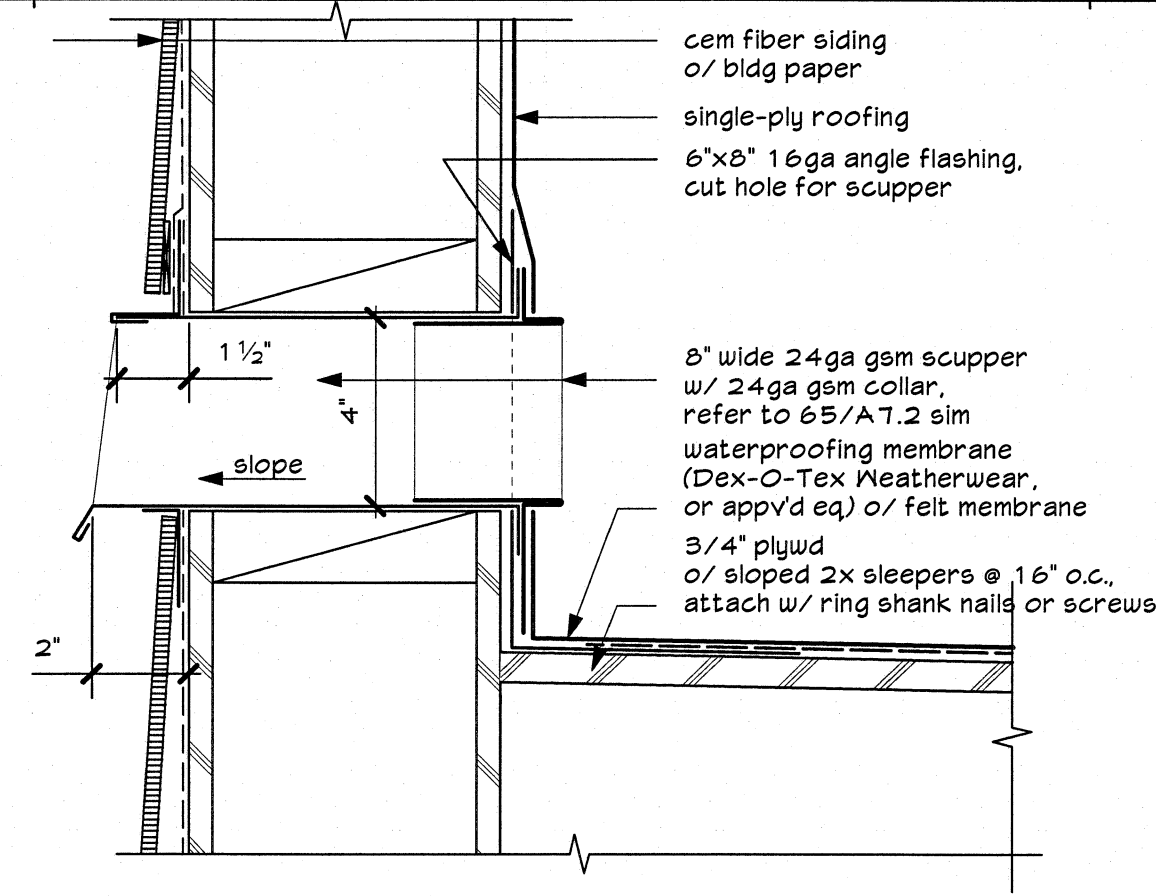
Project:
EXTERIOR RENOVATION
2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

Client:
SLO Q
815 FIERO LANE
SAN LUIS OBISPO
CA 93401
(805) 543 - 0561

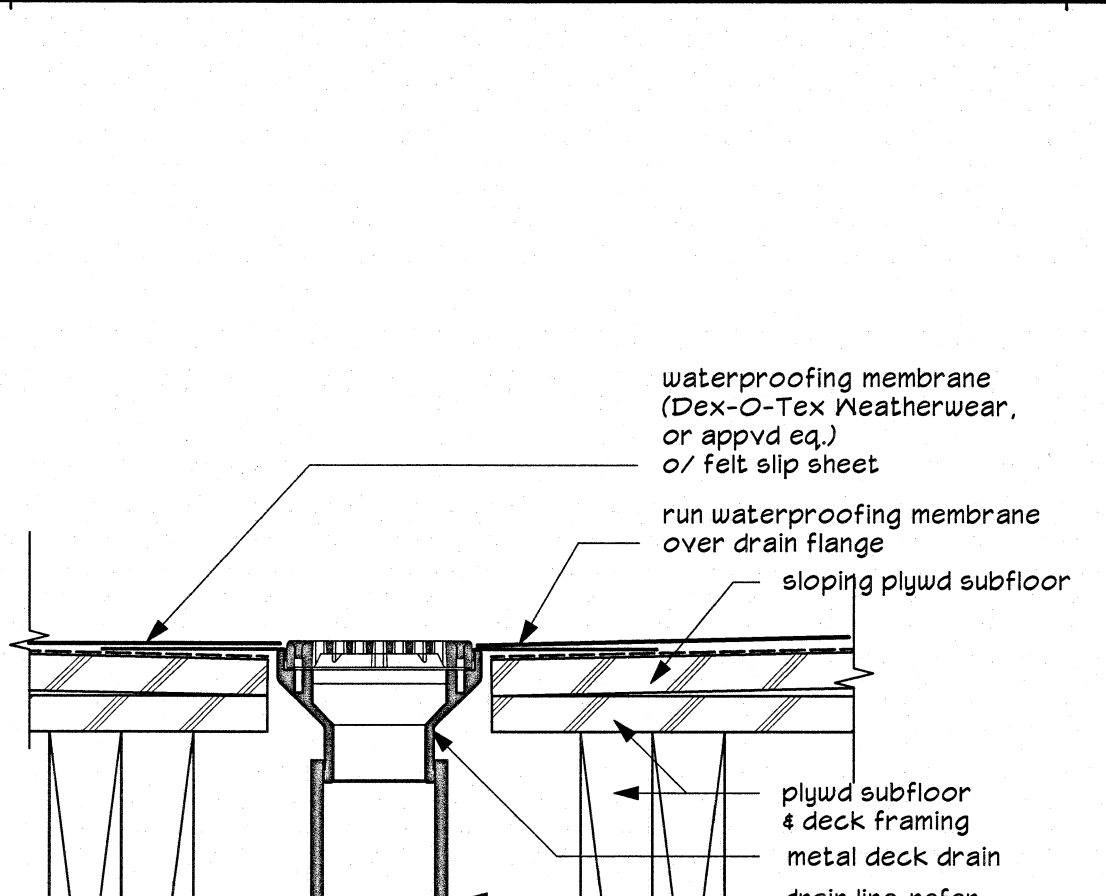
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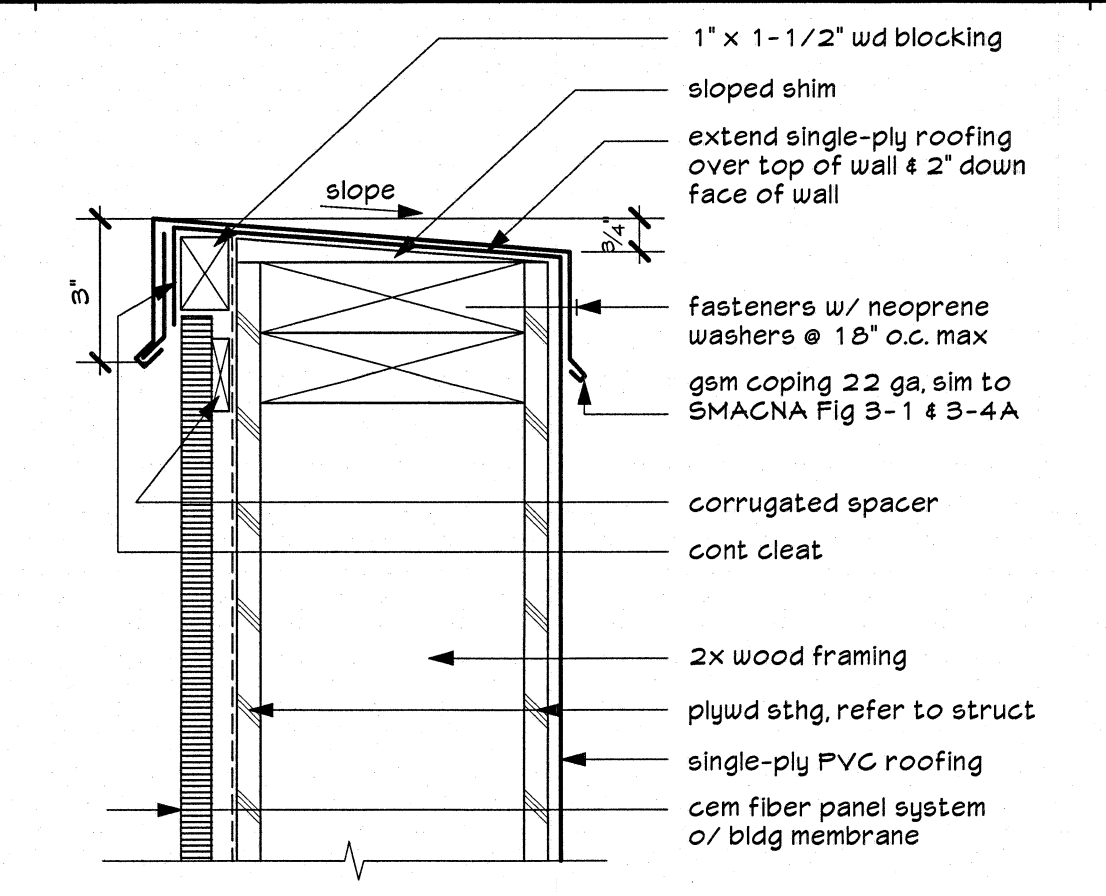
Date: 17 APR 2020
Revised:
Job No: 1946
Sheet:



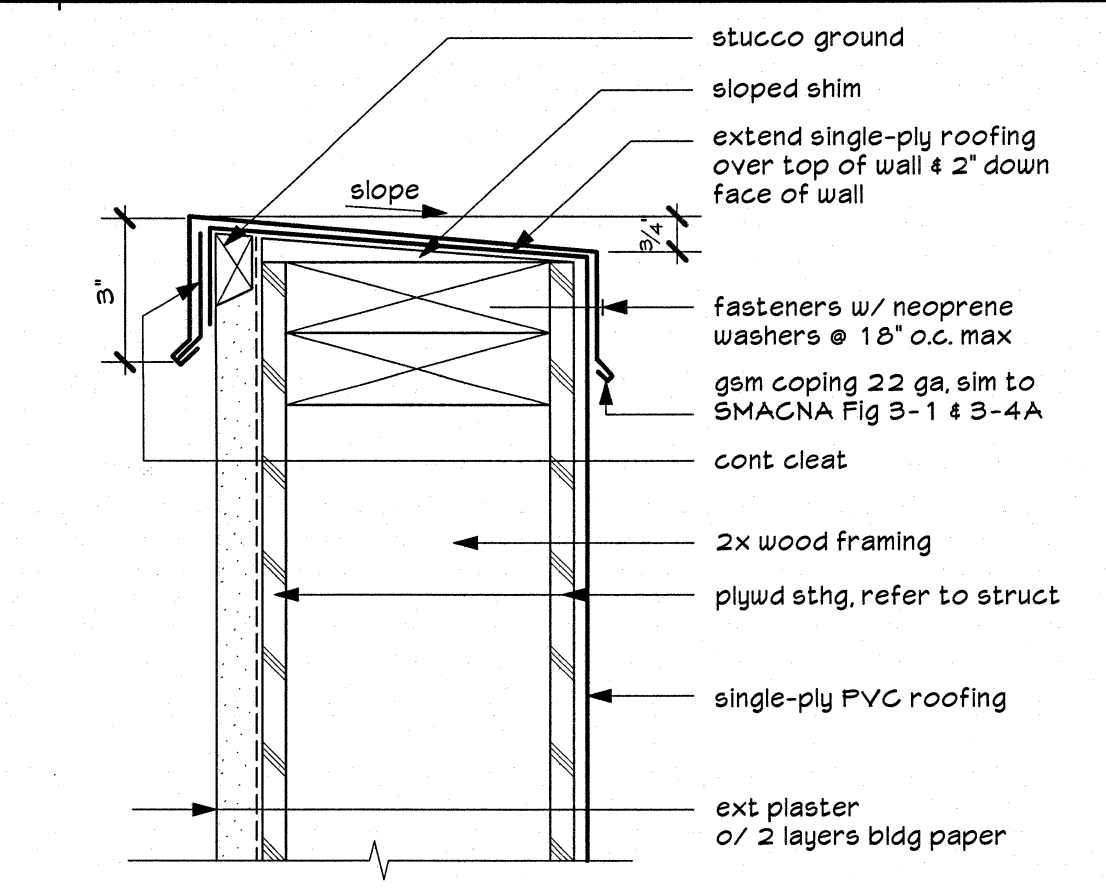
41 OVERFLOW SCUPPER
3"



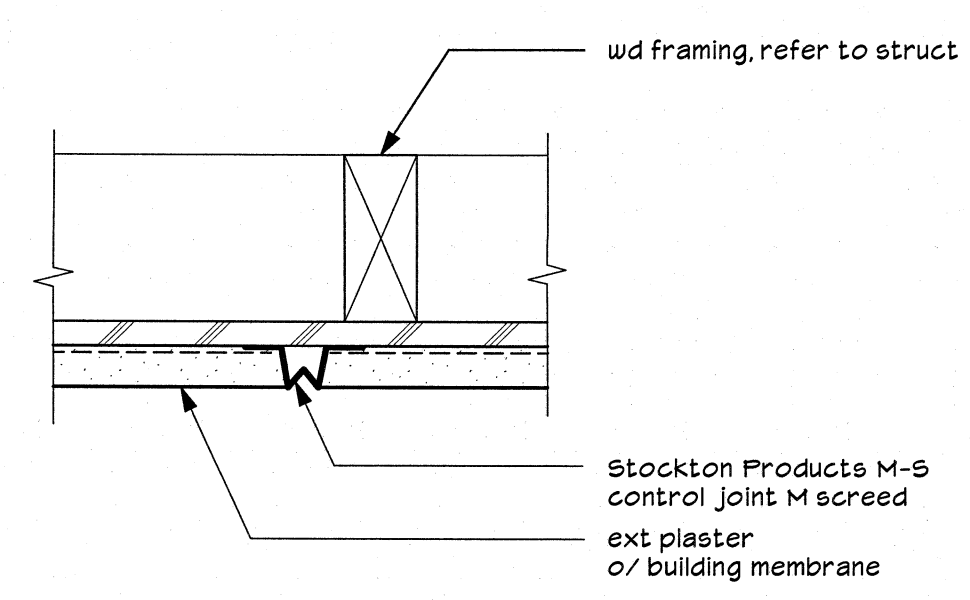
31 DECK DRAIN
3"



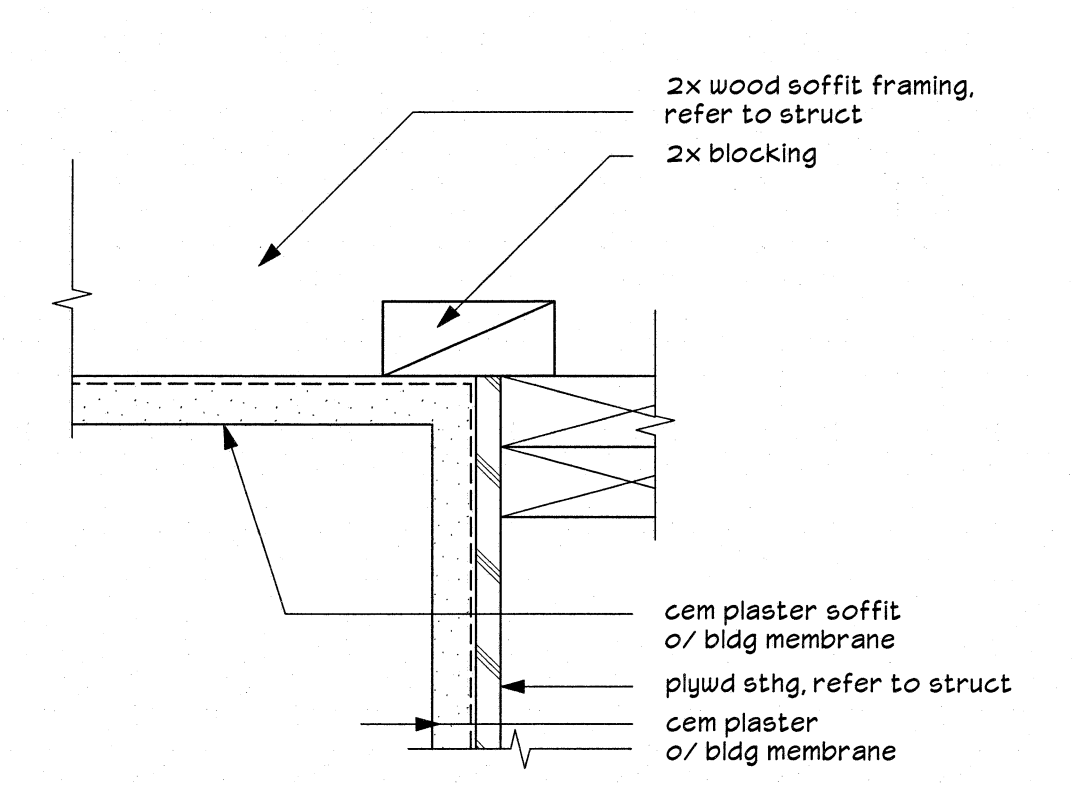
21 COPING
3"



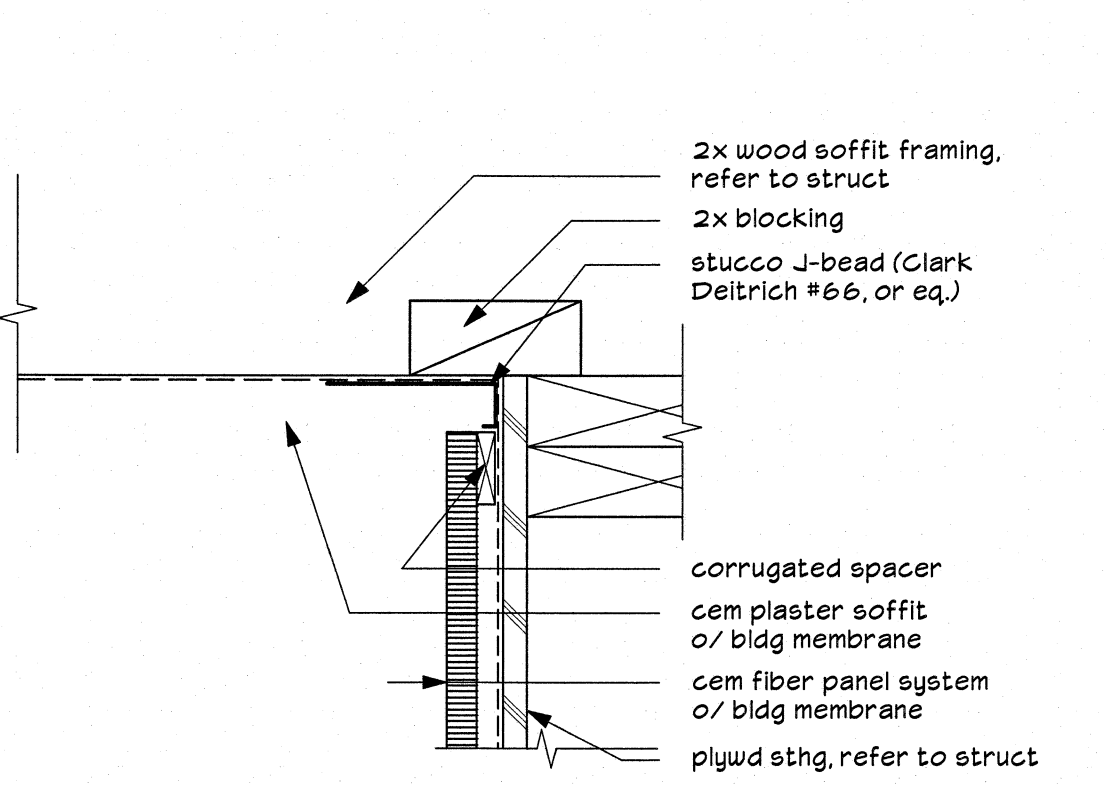
11 COPING
3"



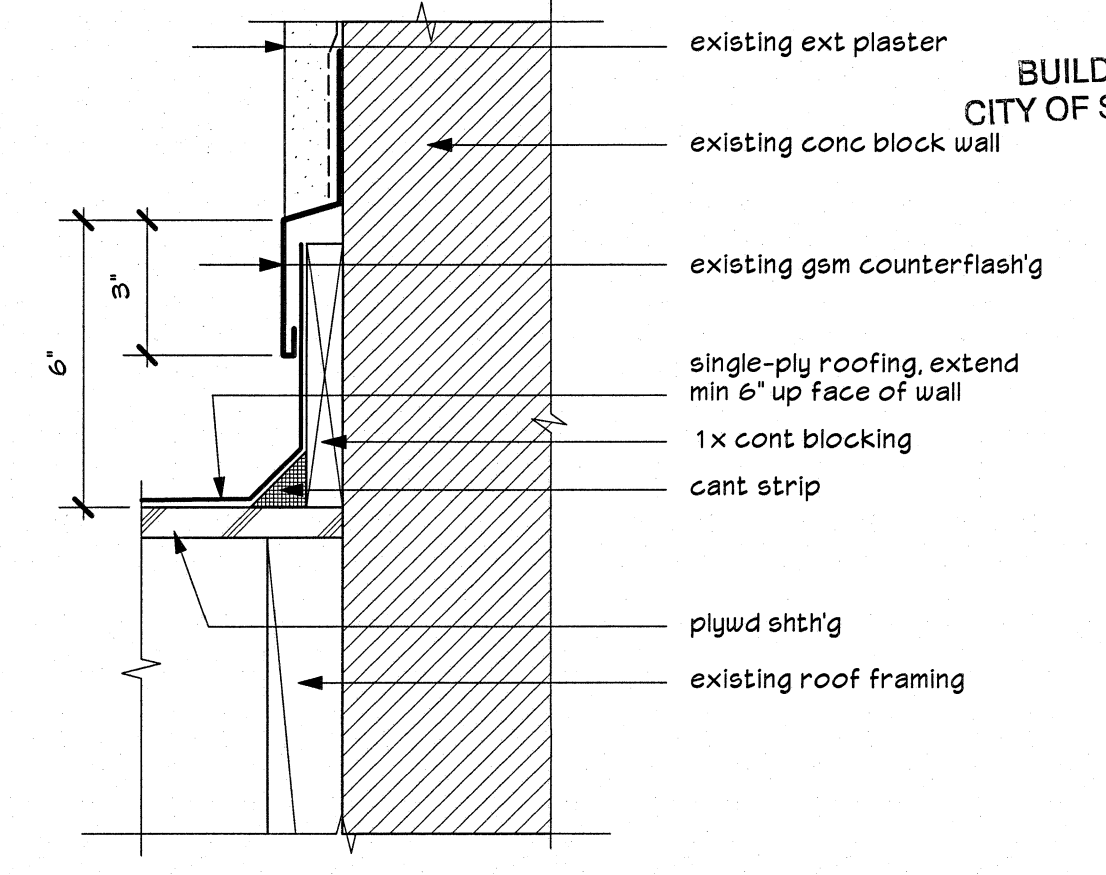
52 EXPANSION JOINT
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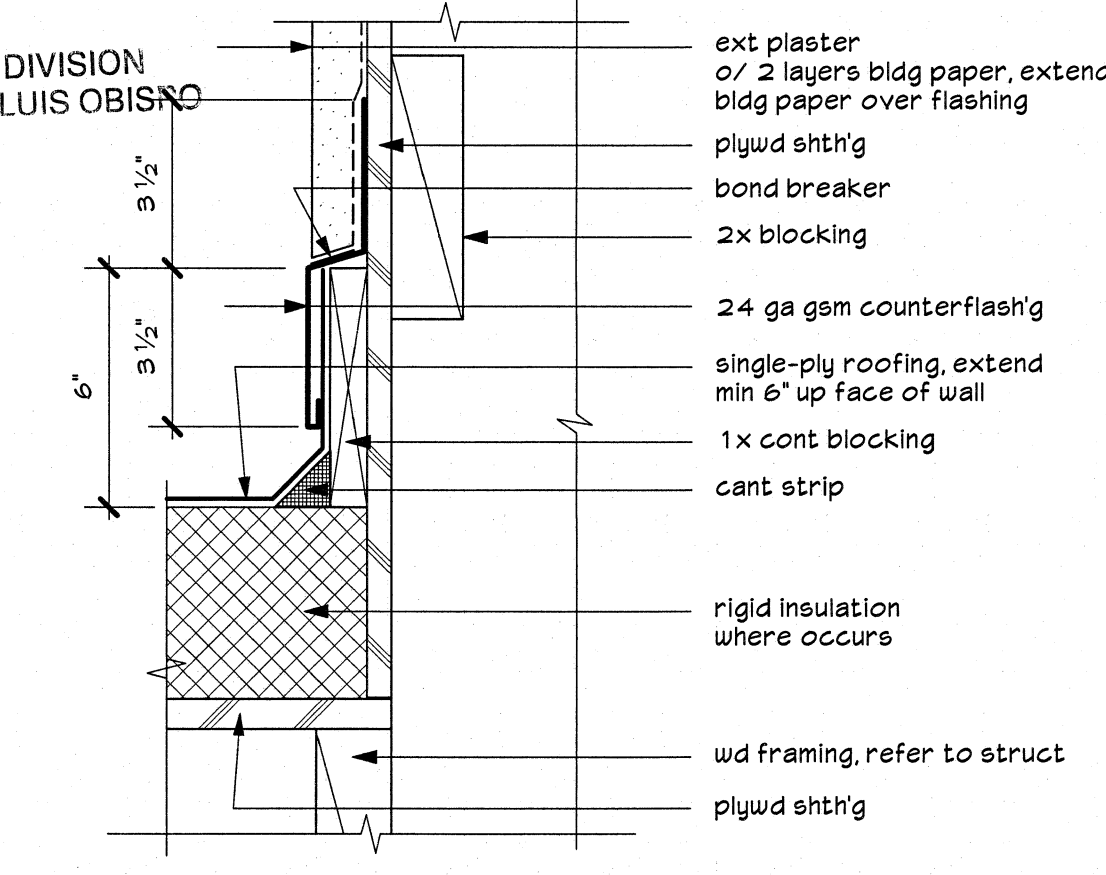
42 SOFFIT @ WALL
3"



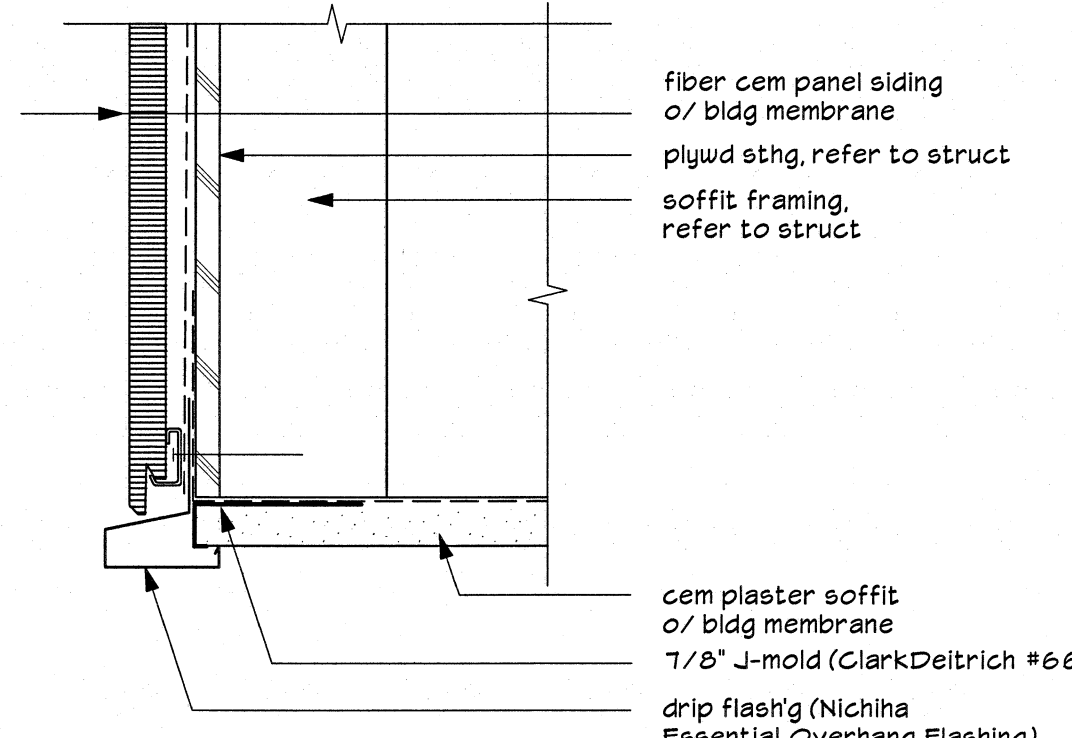
32 SOFFIT @ WALL
3"



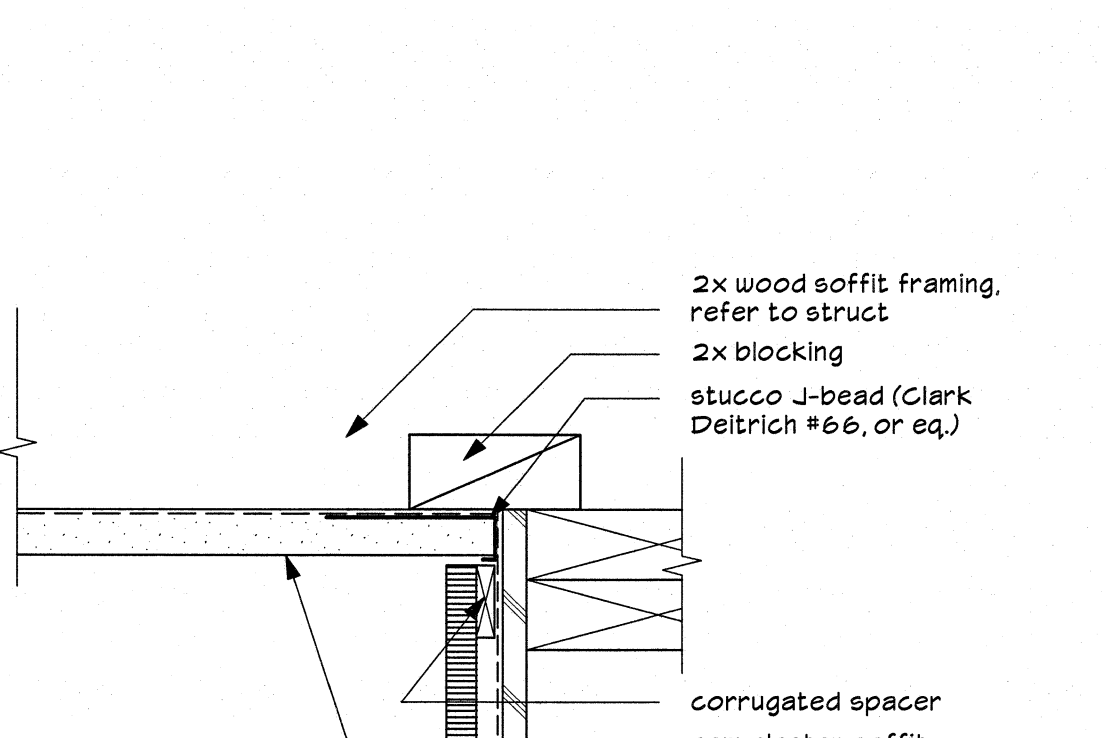
22 BASE FLASH
3"



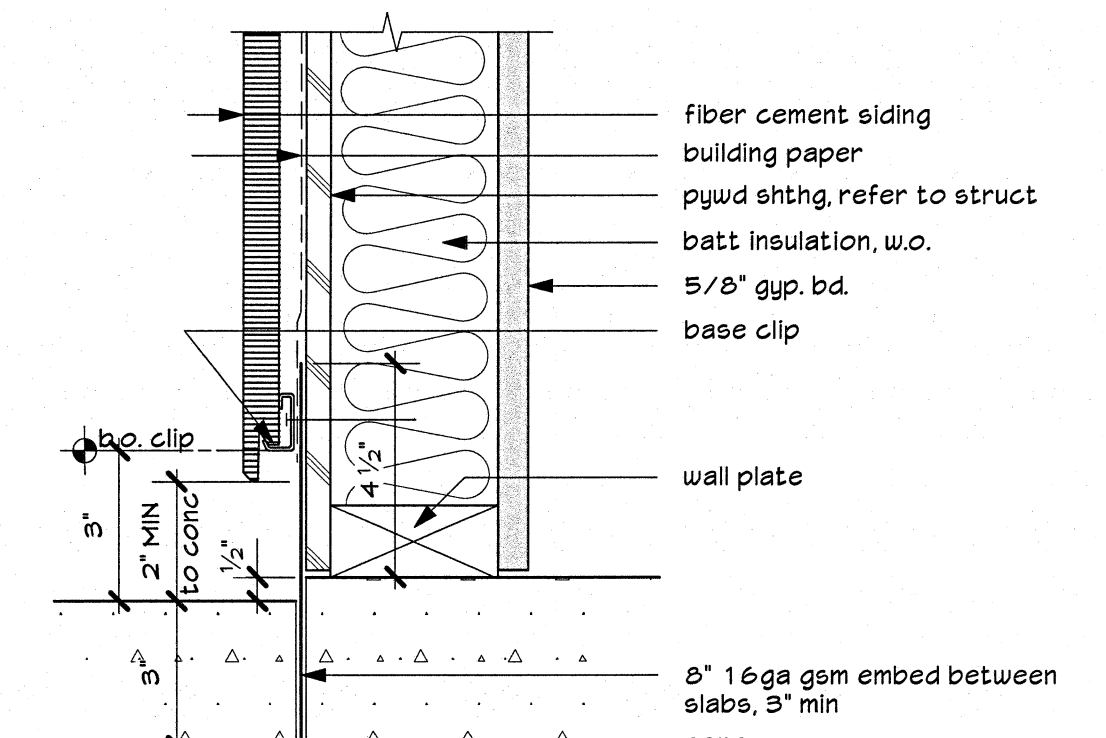
12 BASE FLASH
3"



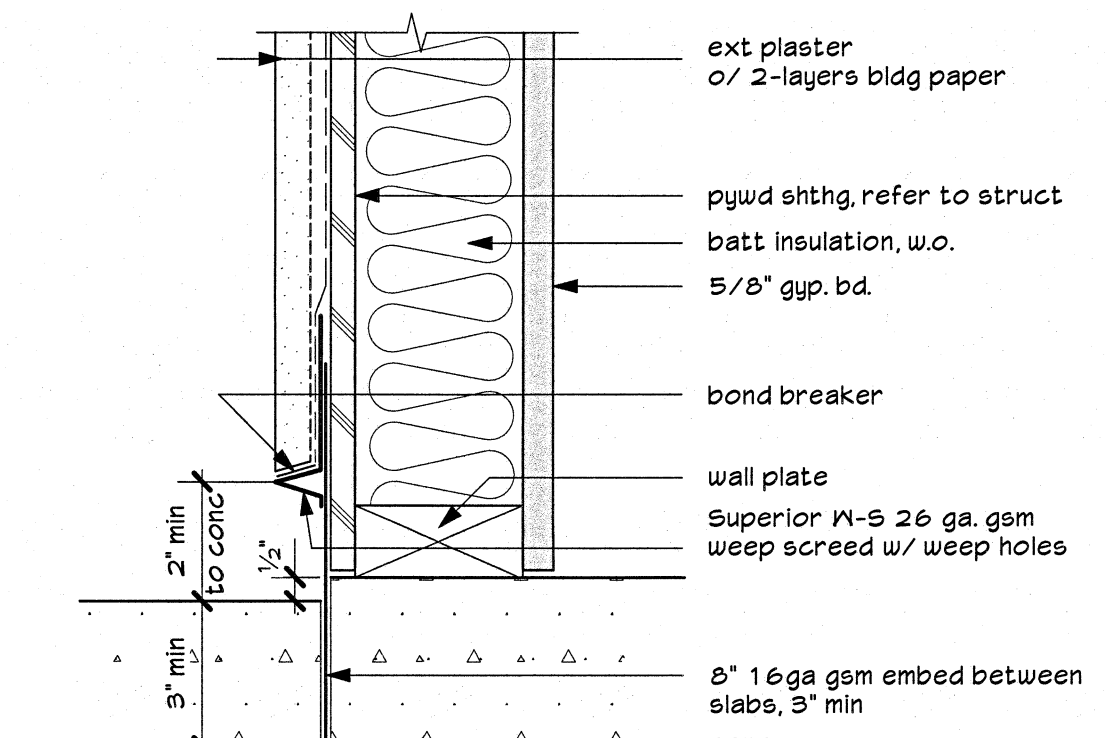
43 SOFFIT EDGE
3"



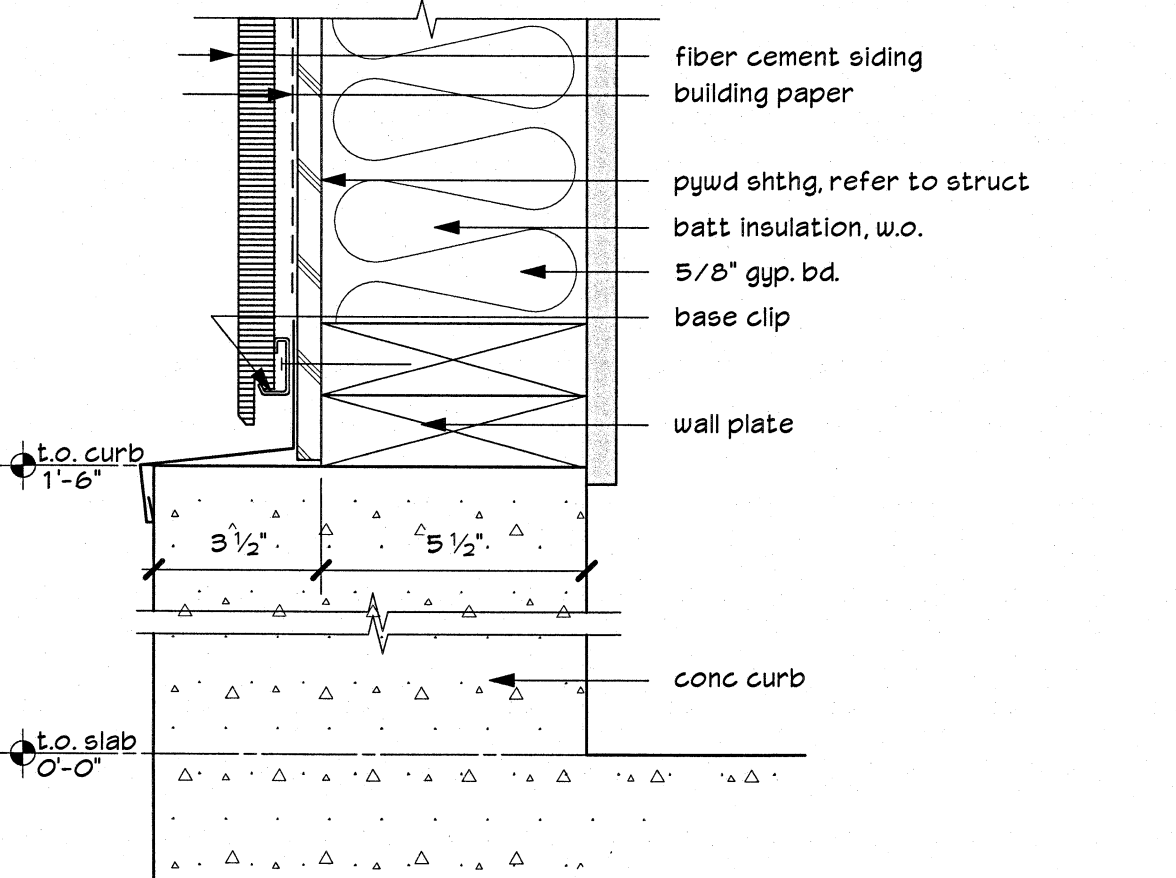
33 SOFFIT @ WALL
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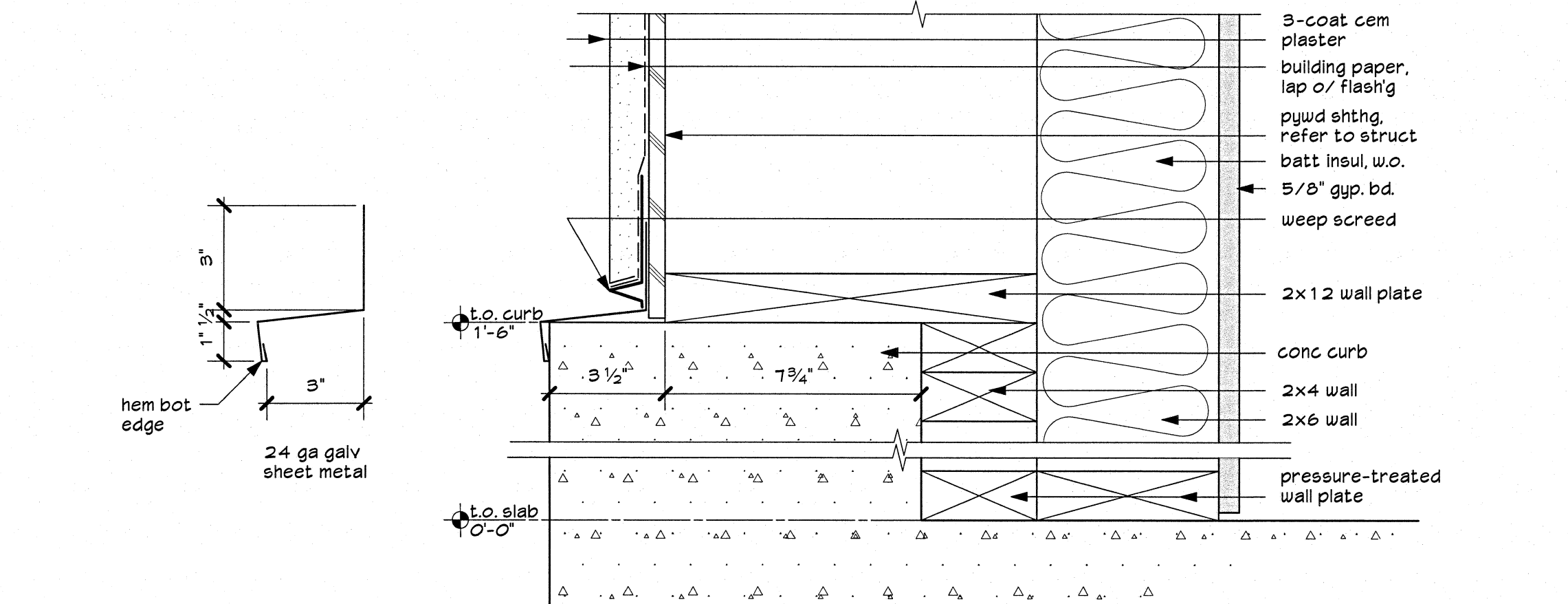
23 BASE OF WALL @ CONC
3"



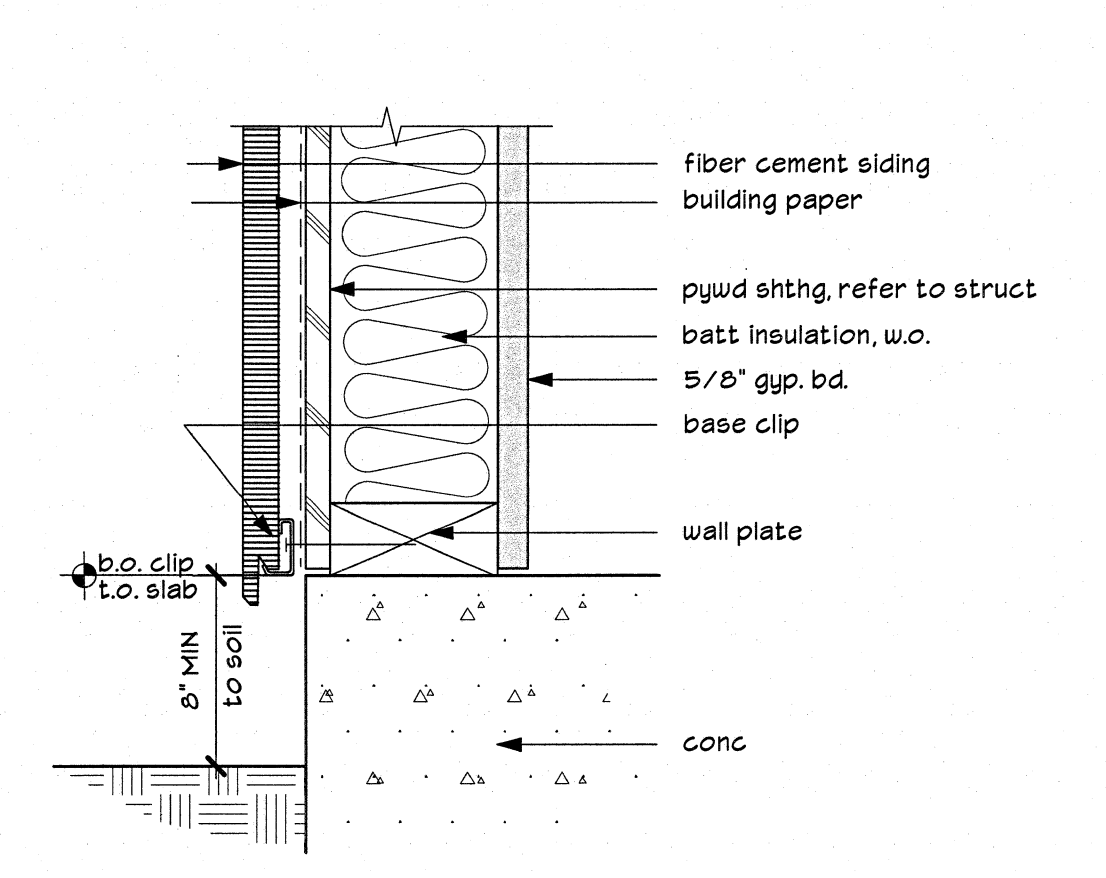
13 BASE OF WALL @ CONC
3"



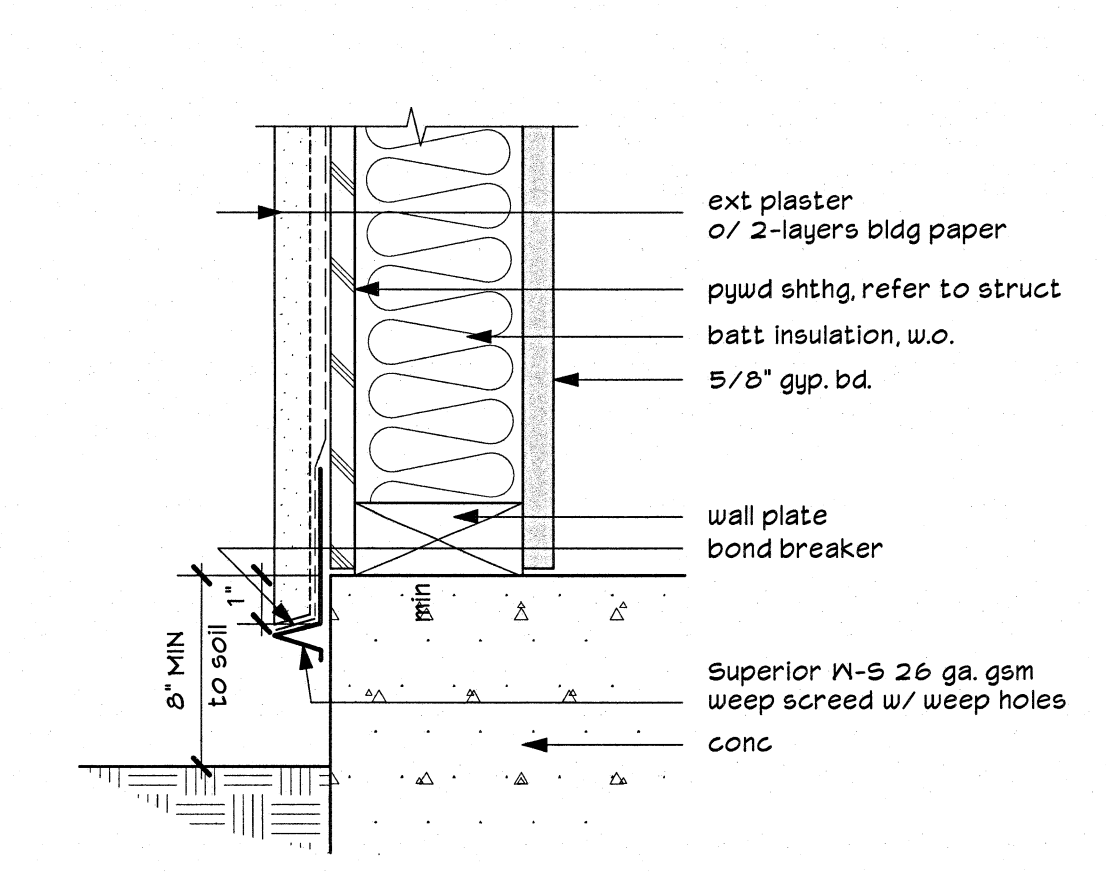
54 BASE OF WALL @ CURB
3"



44 BASE OF WALL @ CURB
3"



24 BASE OF WALL @ GRADE
3"



14 BASE OF WALL @ GRADE
3"

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Project:

EXTERIOR RENOVATION

2550 BROAD STREET
SAN LUIS OBISPO
CA 93401

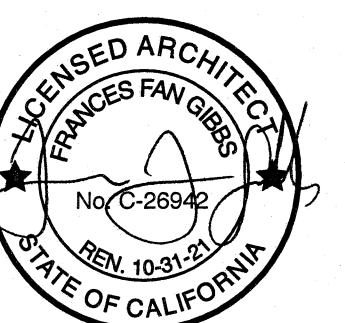
Client:

SLO Q

815 FIERO LANE
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CA 93401
(805) 543-0561

Sheet Contents:

EXTERIOR DETAILS

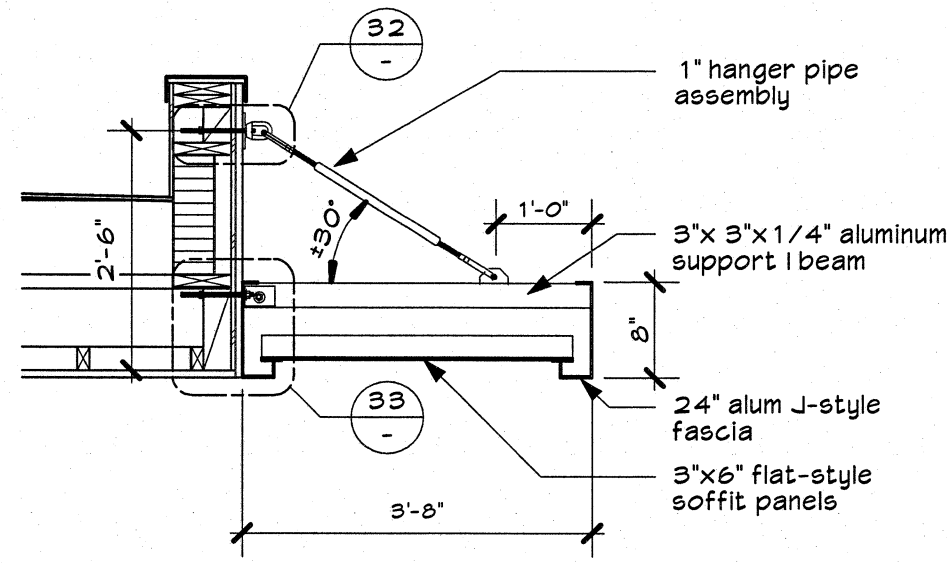


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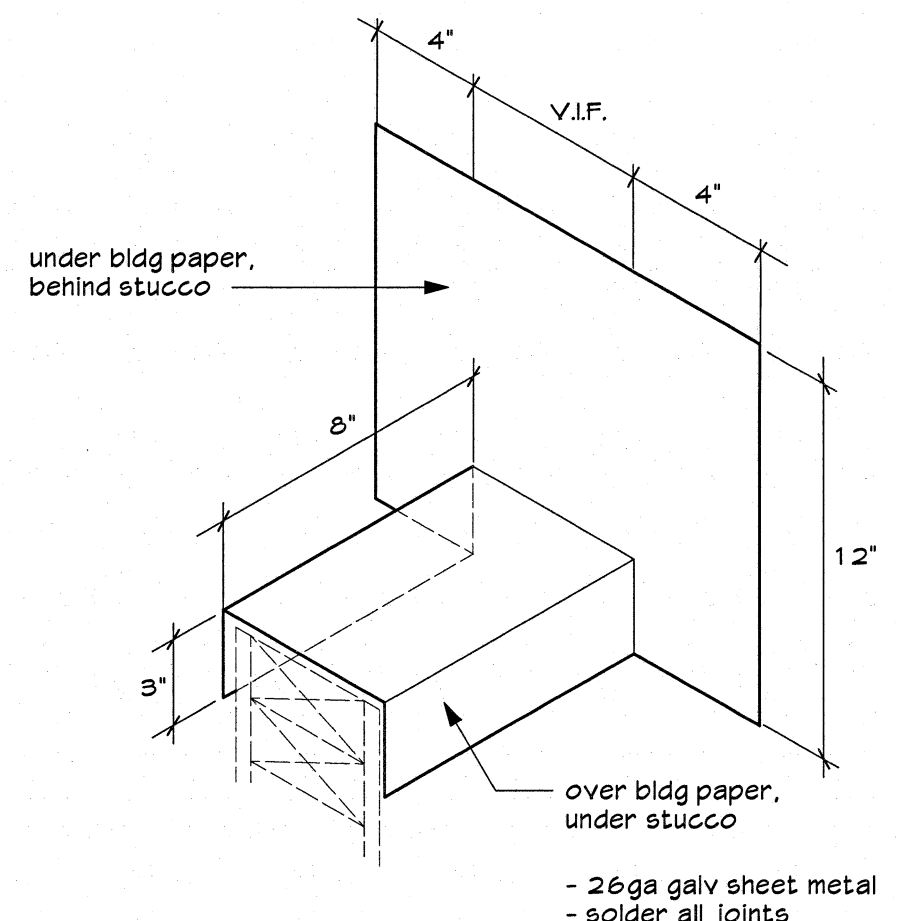
Revised:

Job No: 1946

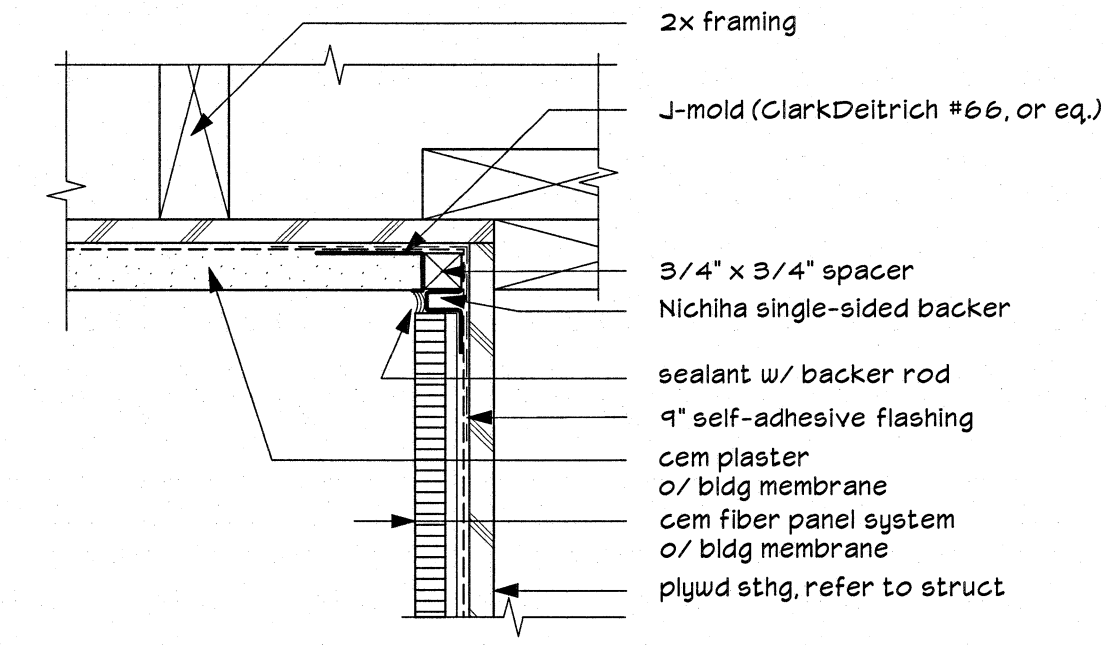
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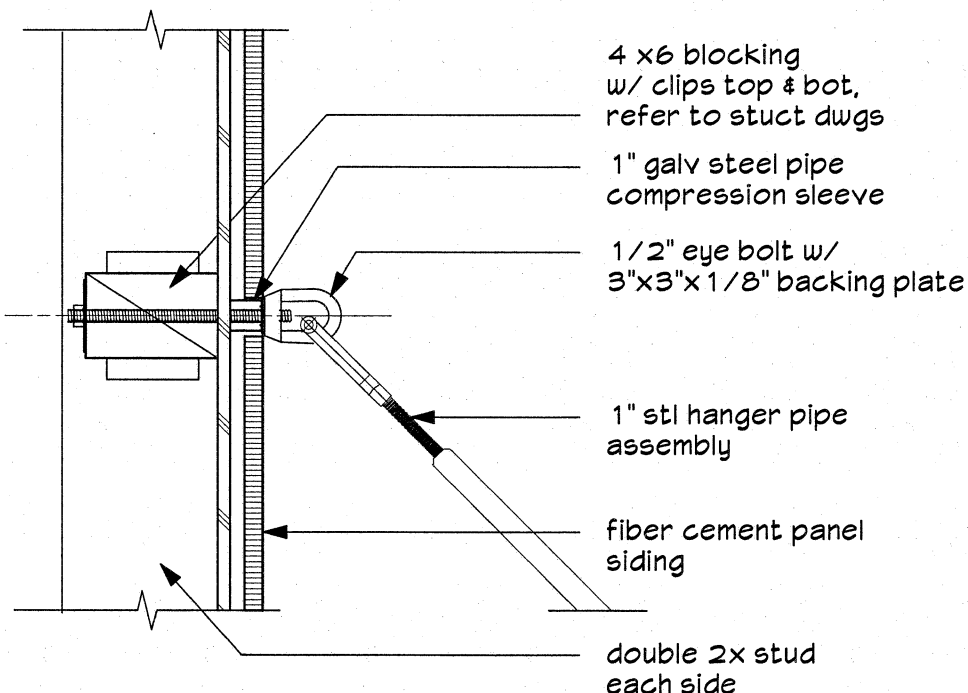
31 CANOPY SECTION
1/2"



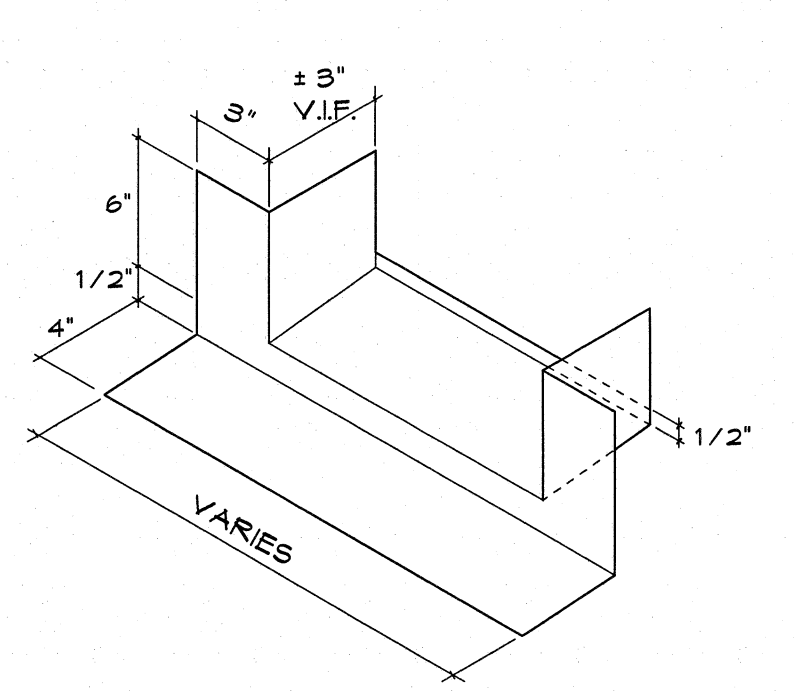
21 FLASHING
3"



11 INSIDE CORNER PLAN SECT
3"

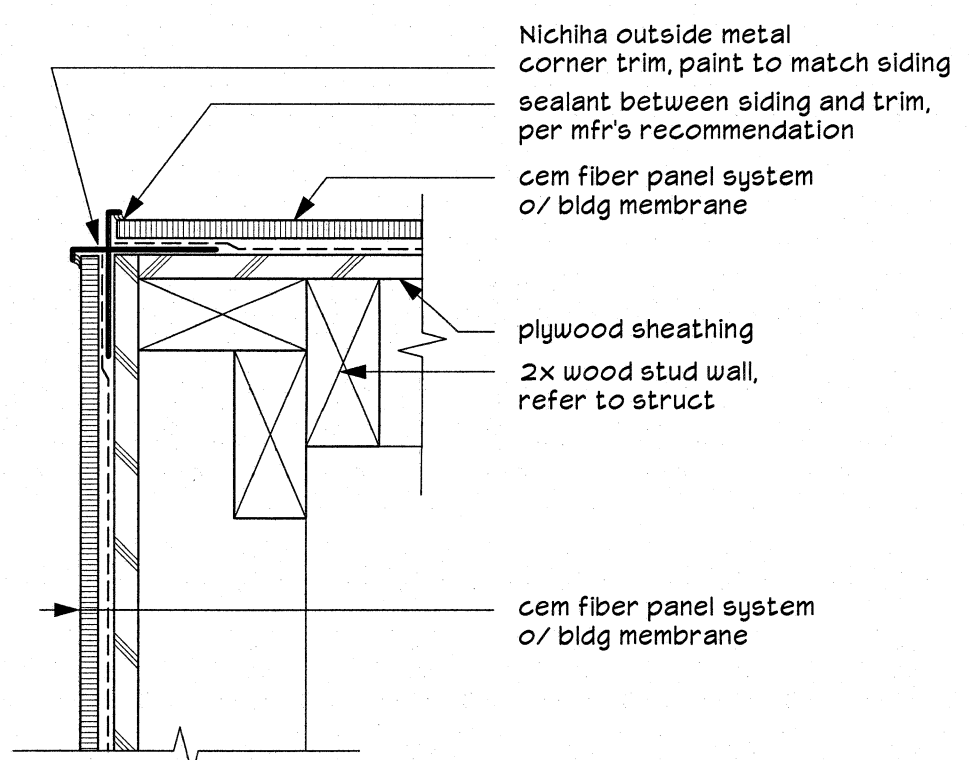


32 EYE BOLT ANCHOR
1 1/2"

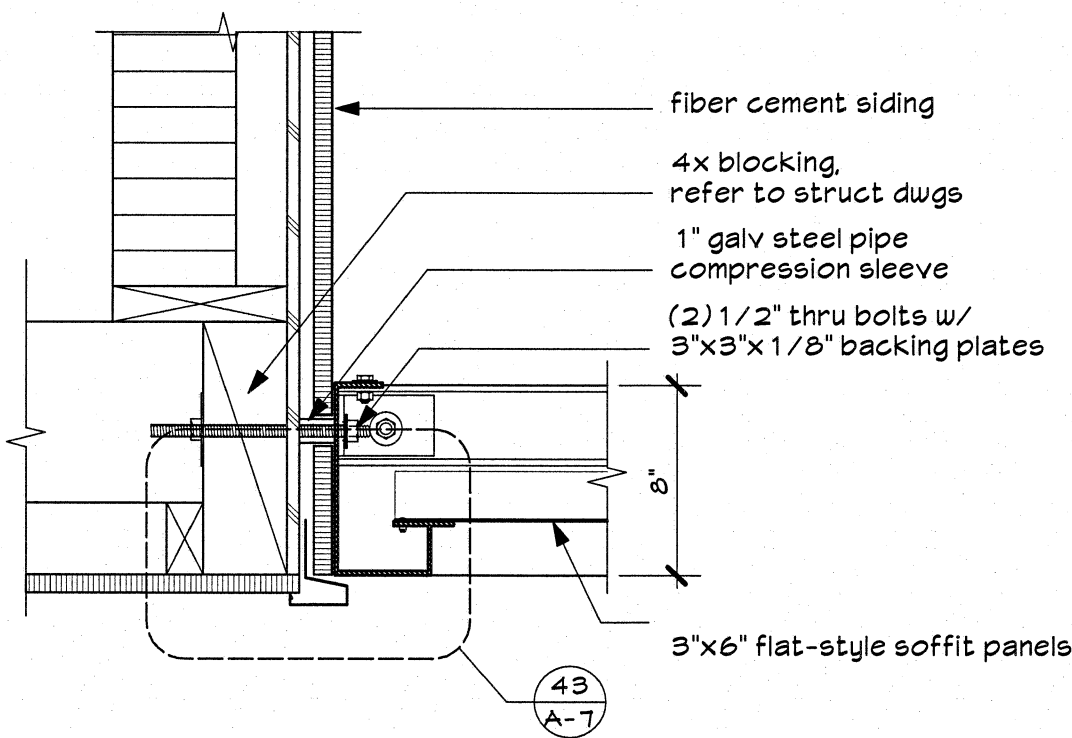


22 FLASHING
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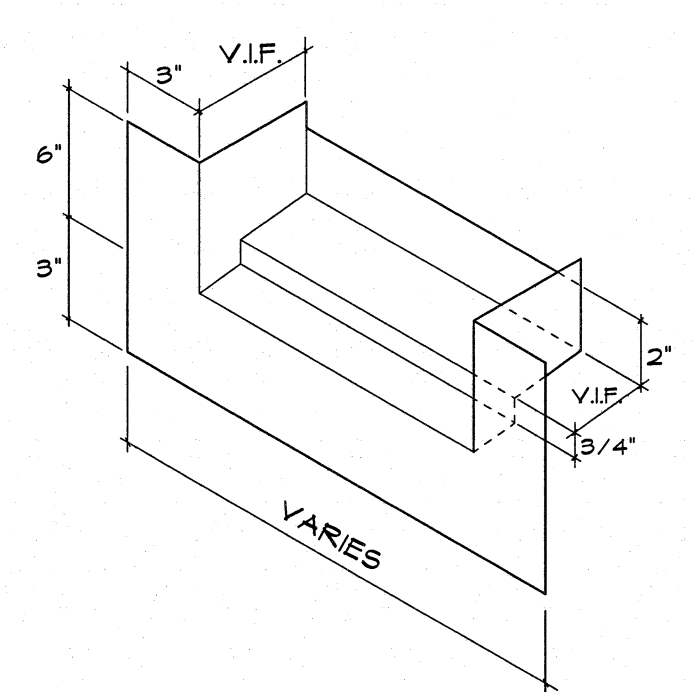
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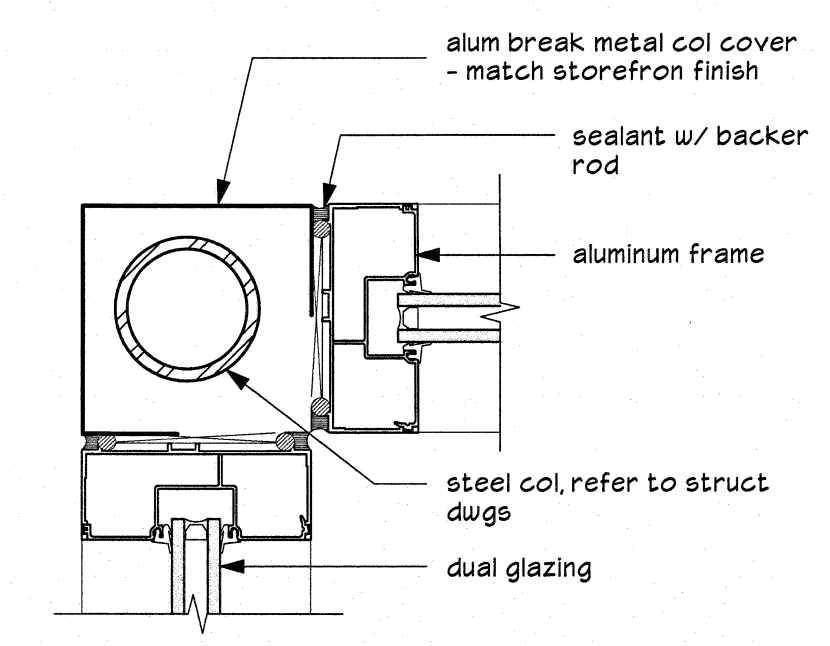
12 OUTSIDE CORNER PLAN SECT
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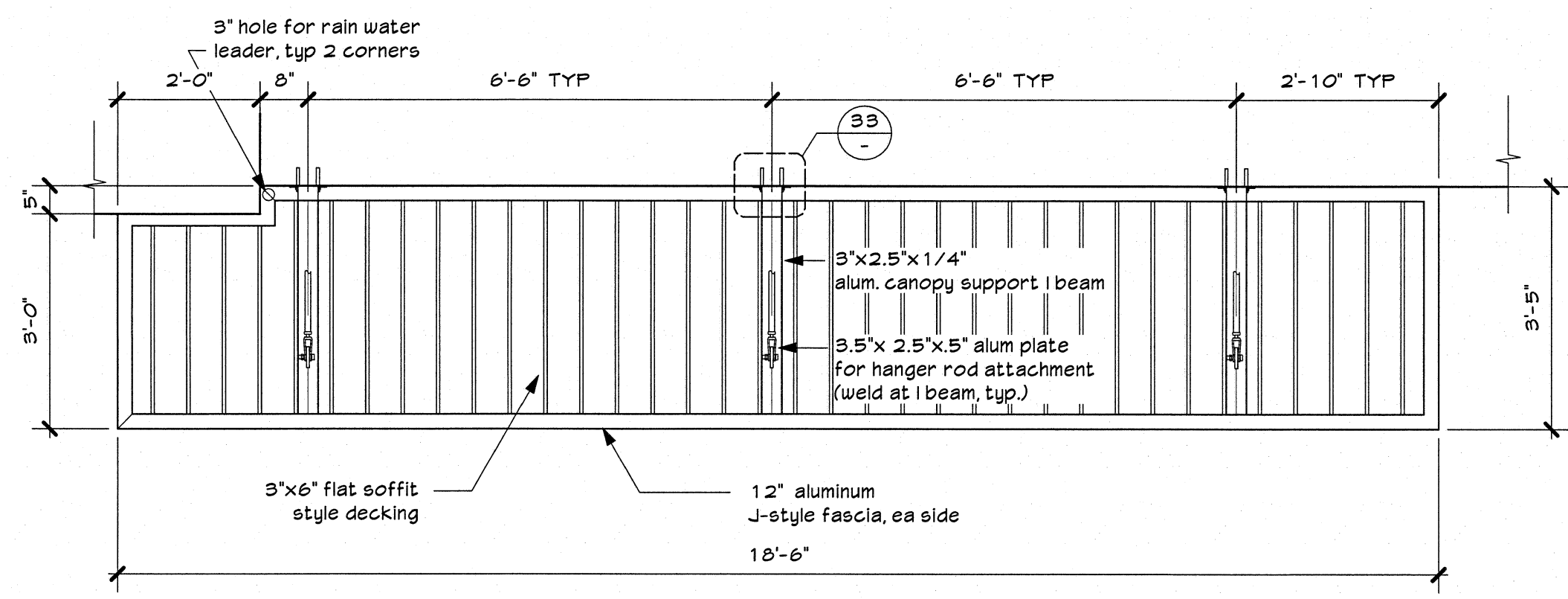
33 CANOPY ANCHOR
1 1/2"



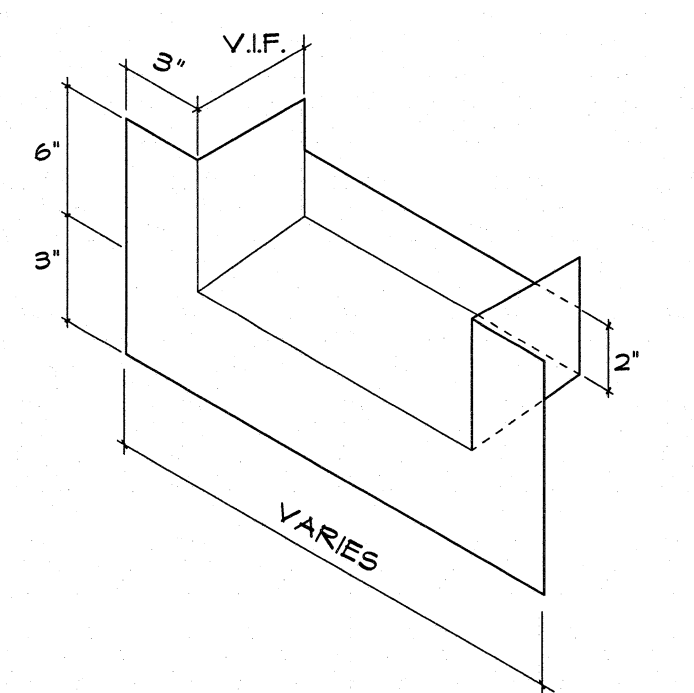
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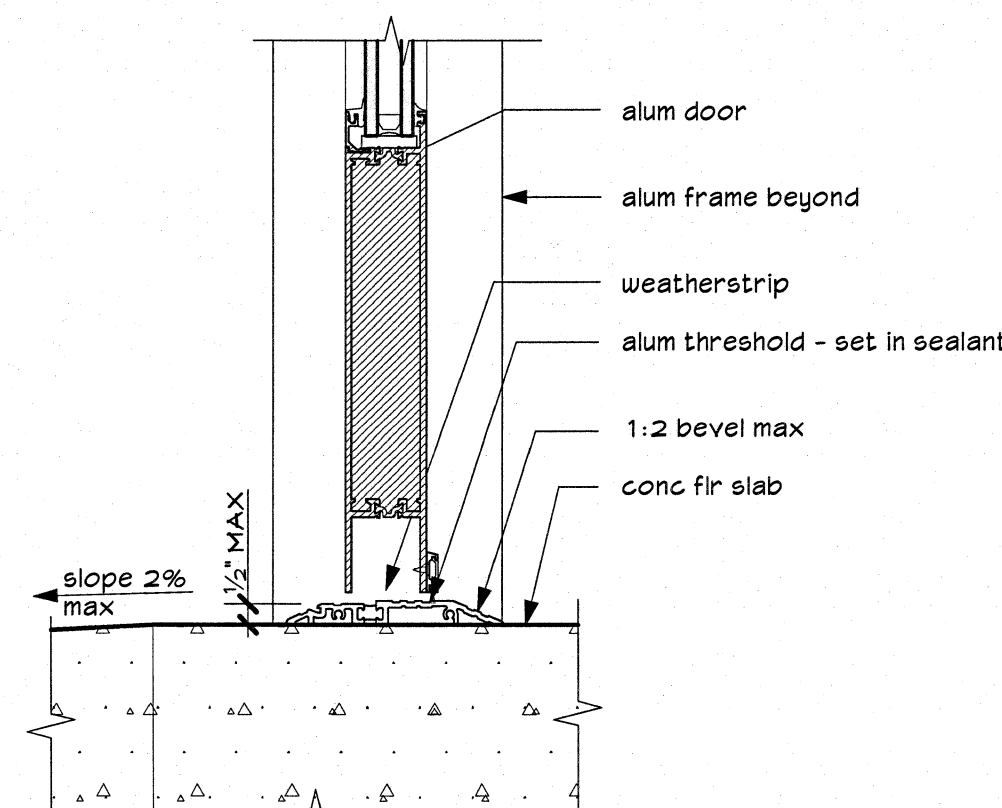
13 STRFRNT @ STL COL
3"



44 CANOPY PLAN
1/2" = 1' - 0"



24 FLASHING
3"



14 DOOR SILL
3"

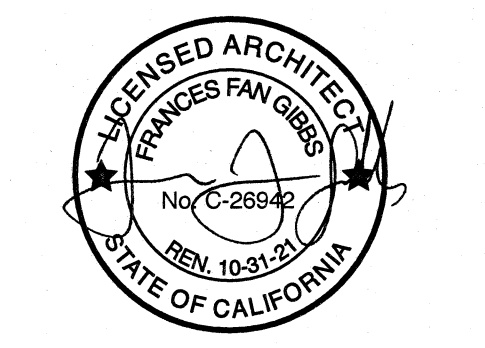
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EXTERIOR RENOVATION

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Sheet Contents:
DETAILS



Date: 17 APR 2020
Revised:

Job No: 1946

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